

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**

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<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Dustin Collett/Priscilla Gish
<b>LOCATION</b>	1622 College Avenue
<b>ZONING/ USE (S)</b>	C/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount Southside

**ANALYSIS OF PROPOSED WORK**

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**CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness for a previously-constructed second-story addition.

**BACKGROUND INFORMATION**

The contributing single story hipped bungalow was built in 1924.

On **August 8, 2013**, a COA was approved for the construction a 19' x 25' (18' x 24' inside face to inside face) second story addition setback 12' from the front wall of the main structure.

On **September 19, 2013**, Staff received a complaint that the addition was not being constructed as approved by the HCLC. The addition was constructed approximately 9-10' from the front wall of the structure and was increased in width to accommodate structural and building code issues.

On **September 23, 2013**, Staff conducted a site visit and advised that the applicant apply for a COA for the work that deviated from the approved plans.

At the **October 13, 2013** HCLC meeting, the HCLC denied the request to retain the second story addition as built (COA12-76).

On **January 13, 2014**, the Historic and Cultural Landmarks Commission ("HCLC") considered a request for a Certificate of Appropriateness (COA13-76) to retain the second story addition that was constructed on the property in deviation from the design drawings that had been approved by the HCLC as part of COA 13-61 on August 12, 2013. After conducting a public hearing on COA 13-76, the HCLC unanimously **denied** the request **with prejudice**, because the second story addition failed to meet the Fairmount Historic District Design Standards pertaining to building setbacks and orientation. Specifically, the second story addition was not visually

compatible with the existing structures on the block face and did not maintain the established rhythm and setback spacing. No appeal to this decision was made.

On **July 14, 2014**, during its regularly scheduled meeting, the HCLC considered a request to waive the mandatory wait period and accept a new application for a second story addition at the property. After conducting a public hearing on the matter, the HCLC unanimously **denied** the request for the following reasons:

- The new design drawings did not significantly change the conditions for which the previous application (COA 13-76) was denied as they did not address or change the location of the second floor addition or changes to the historic roof line.
- The proposed alterations to the original roof form, roof dormer and front porch configuration did not significantly or substantially change the condition of the request.

On July 18, 2014, 2 Brothers Homevesting LLC (Attn: Dustin Collett) were advised in writing of the above decisions. The letter is attached to this report. The applicant was advised that the second story addition was not in compliance due to the construction of the unapproved second story addition. In order to bring the structure into compliance, two approaches were offered for the applicant's consideration:

- Remove the second story addition completely and restore the original roof form to the structure; or
- Alter or reconstruct the second story addition to match the plans approved by the HCLC on August 12, 2013 (COA13-61) and restore the original roof form.

The applicant has not taken any action to bring the structure into compliance.

## **APPLICABLE FAIRMOUNT HISTORIC & CULTURAL LANDMARK DISTRICT STANDARDS AND GUIDELINES**

### **SECTION 5 – STANDARDS AND GUIDELINES FOR NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS AND RELOCATION**

*1. The height and overall scale of new construction and additions shall be consistent with that of adjacent structures. In residential areas, the height and scale of new construction should generally not exceed that of adjacent structures by more than one story. In commercial areas, a greater variation in height may be appropriate with appropriate transitions. Step downs in building height, wall plane offsets and other variations in building massing should be utilized to provide transition when height of new construction exceeds adjacent structures by more than a half story.*

*14. Additional stories shall be set back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.*

### **SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION**

Standard 1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Standard 2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Standard 9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Standard 10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

### **Guidelines for Rehabilitating Historic Buildings**

#### **New Additions to Historic Buildings**

##### *Recommended*

*Designing a rooftop addition when required for the new use that is set back from the wall plane and as inconspicuous as possible when viewed from the street.*

### **FINDINGS/RECOMMENDATIONS**

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The previously-constructed second-story addition is generally consistent with the height and overall scale of adjacent structures in the immediate vicinity in that it does not exceed the height of adjacent structures by more than one story. However, a considerable difference between the approved scheme and the as-built condition rests in the extent to which the addition is setback from the front of the house, the increase in roof height arising from the widening of the addition during construction, and the resulting degree to which the addition satisfies the key preservation principle of inconspicuousness. The physical impact on the character-defining roof of the original house and its setting are considerable. The extent of setback not only demonstrates that the approved scheme approached inconspicuousness, but that such a setback also resulted in safeguarding the original roof form and the primary roof ridge of the house. The effect that the as-built addition has on a character-defining roof of the house amounts to a truncated pyramidal roof form, which adversely impacts the original profile of the roof – one that is also highly visible from the public right-of-way. In this regard, the as-built addition does not satisfy Standard 14, Section 5 of the Fairmount Historic District Standards and Guidelines, where it states that *additional stories shall be set back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.*

The as-built construction required a greater intervention to the roof form that characterized the single-story bungalow than that which had been approved in August 2013. The additional width contributed to the appearance of an increased mass with a greater adverse effect on the setting of the historic home. Since other solutions would have been available that would not have resulted in such adverse effects, the as-built condition does not meet **Standard 1** of the *Secretary of the Interior's Standards for Rehabilitation*, which requires minimal change.

The historic character of the single-story bungalow was not retained and preserved because the as-built addition resulted in the alteration of a character-defining roof and the placement of the

mass of the new addition in a way that was uncharacteristic. In this regard, the as-built condition would not meet **Standard 2** of the *Secretary of the Interior's Standards for Rehabilitation*.

While historic materials would have been disrupted with the approved design, as noted in relation to Standard 1, the extent to which historic materials and features that characterize the property were altered is greater than that which was approved by the HCLC in August 2013. In this regard, the as-built condition would not meet this aspect of **Standard 9** of the *Secretary of the Interior's Standards for Rehabilitation*. The as-built work does, however, satisfy the material compatibility, scale, and massing aspects of Standard 9. A key issue relates to the "forward location" of the addition. The approved design would have resulted in an addition that was setback further from the front wall of the original bungalow than the as-built addition, thus mitigating the effects of the addition and protecting the integrity of the property. In this regard, the integrity of the single-story bungalow weighs heavily when considering the application of Standard 9 and as a result, it is considered that the as-built addition does not substantively meet the spirit and intent of this Standard.

In relation to **Standard 10**, if the addition were removed, which is one of the key staff recommendations of July 2014, the essential form and integrity of the bungalow would certainly be impaired and this is acknowledged by the recommendation that "restoration" of damaged historic form and materials would be necessary. While the essential form and integrity would be impaired by the removal of the addition, the mitigation for that intervention would be restoration of the original roof form.

#### **AUDIO TRANSCRIPTION OF OCTOBER 14, 2013 - OBSERVATIONS**

On pages 4-5 of the transcript, the applicant indicates that the floor of the addition had to be widened three feet for the stairs to fit. There were no design revisions provided to staff for consideration and the work proceeded, until complaints were received and the applicant was advised by Staff to stop work. It is acknowledged that the applicant indicates that the structure had been erected by this time, however, there does not appear to be dated photographs that would confirm the extent of construction completed or the degree to which corrective intervention might have been more practical at the point a 'stop work' notice had been issued. The applicant also acknowledged awareness of having built a structure that was not approved and confirmed that there was no argument being put forth to excuse the unauthorized work.

If the structure needed to be widened, this could have been achieved without also pulling the addition forward, essentially lengthening the addition, so that it required the alteration of the front (east-sloping) roof plane up to the ridge. For example, the decision to place the bathroom and the front bedroom in front of the stair location would appear to be unrelated to the need to widen the structure. Thus, the structure was not only widened but it was lengthened as well, the latter of which there does not appear to be justification. In addition, the indication that the floor needed to be widened by three feet does not explain why the north (side) wall of the addition wasn't set-in by three feet because this would have helped to reduce the impact of the mass and as a result of narrowing floor plan, it would have also lowered the roof height. There are many solutions to these type of design challenges, and it is considered that alternative solutions could have been designed so as to meet the Fairmount Standards and Guidelines and the *Secretary of the Interior's Standards for Rehabilitation*.

#### **CONCLUSION**

The key issue with the non-compliant addition is its forward positioning. The positioning of the structure accentuates its mass and adversely affects important character-defining elements of the historic structure, including its roof form and setting. A secondary issue is the widening of



the addition, presumably to accommodate the stair below. In order to accommodate the stair, it would appear that the floor of the addition needed to be “shifted” rather than “widened”. The effect of this widening produced a greater mass that was highly visible from the street and an increase roof height. An aggravating issue is the process that was used to accommodate the identified need for a change during the initial stages of the construction. Each one of these issues have arisen as a result of decisions made in isolation of the regulatory process that every property owner within a historic district has an obligation to adhere.

The extent to which the work is compliant with the Fairmount Historic & Cultural Landmark District Standards and Guidelines and the *Secretary of the Interior's Standards for Rehabilitation* is not sufficient to warrant a recommendation for approval without commensurate and effective mitigation of adverse effects. The extent to which the as-built addition is not in compliance is far greater and therefore requires mitigation.

**Staff therefore recommends that the Application for a Certificate of Appropriateness to retain a previously-constructed second-story addition be approved, subject to and in accordance with the following mitigation measures:**

#### **Mitigation of Adverse Effects**

1. That the as-built addition be set back to facilitate the reinstatement of not less than 1'-0" of the primary historic roof ridge, the complete reinstatement of the front (north) facing roof slope, and the corresponding portion of the east roof slope, to their respective August 2013 forms;
2. That a Temporary Protection Plan identifying the potential risks associated with the execution of the mitigation measures and detailing how those risks will be mitigated to ensure that the historic structure is protected from any damage, be submitted to the Planning and Development Department along with the final plans depicting the mitigation measures;

#### **Process**

3. That the applicant work with Staff to immediately schedule an on-site HCLC Public Hearing to review the as built conditions, with particular emphasis on the recommended mitigation measures;
4. That accurate drawings depicting the as-built and proposed mitigation accompanied by a detailed construction schedule that is commensurate with the scope of work for the above mitigation measures be submitted to the Planning and Development Department within 30 days of the decision of the HCLC and prior to the issuance of a Certificate of Appropriateness;
5. That the applicant consider reviewing the proposed plans with the Fairmount Neighborhood Association prior to their submission to the Planning and Development Department;
6. That Staff return to the HCLC in August with the revised plans, should the final plans depicting the mitigation measures materially differ from the intent of the mitigation;

**Time is of the Essence**

7. That the mitigation measures be substantially complete in accordance with the construction schedule and amended plans; and

**Monitoring and Follow up**

8. That Staff report back to the HCLC as appropriate, on the above mitigation measures and implementation.

**ATTACHMENTS**

1. July 18, 2014 Denial Letter to 2 Brothers Homevesting LLC (Attn: Dustin Collett)
2. October 14, 2013 Transcript - 1622 College Avenue

SUPPLEMENTAL MATERIAL

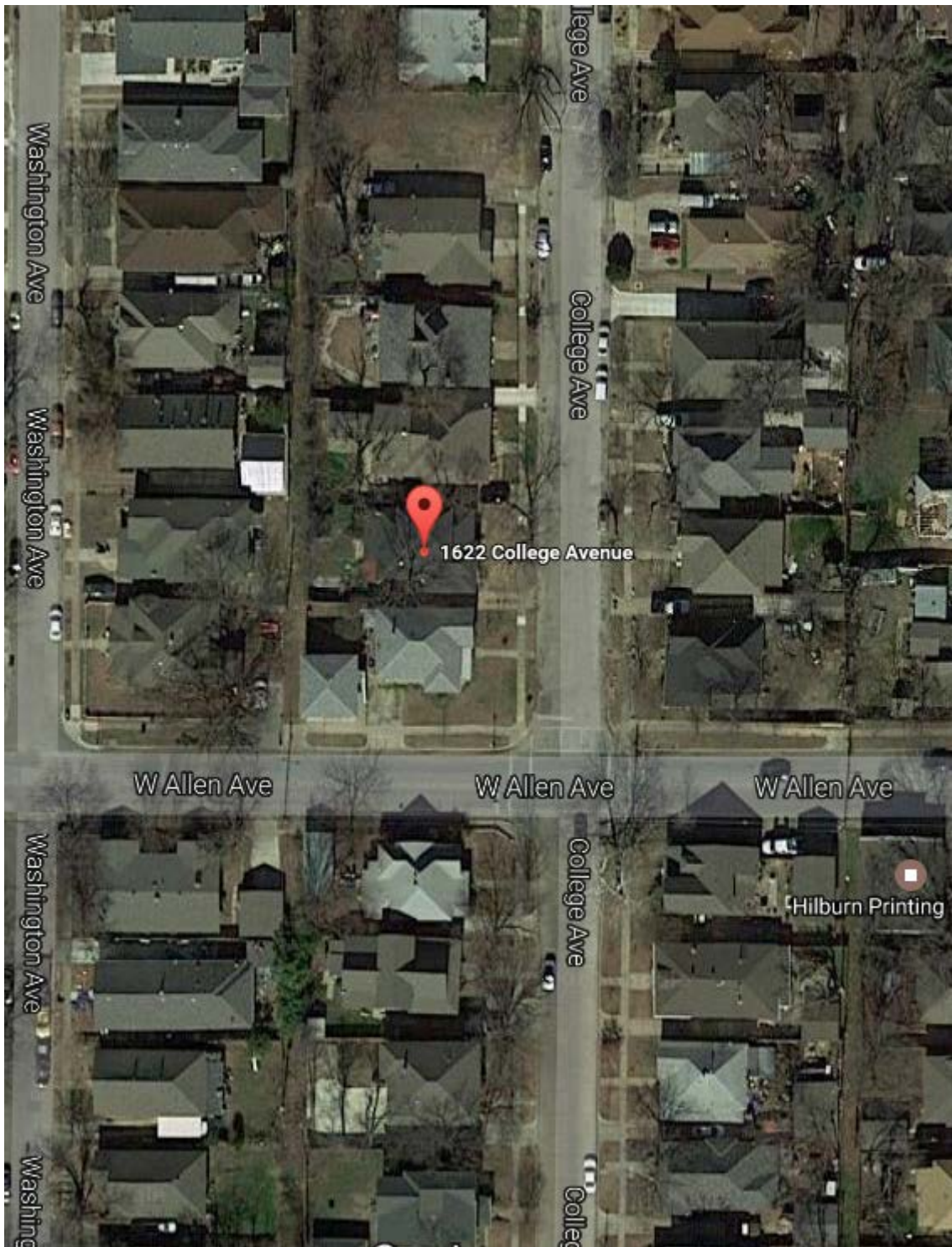
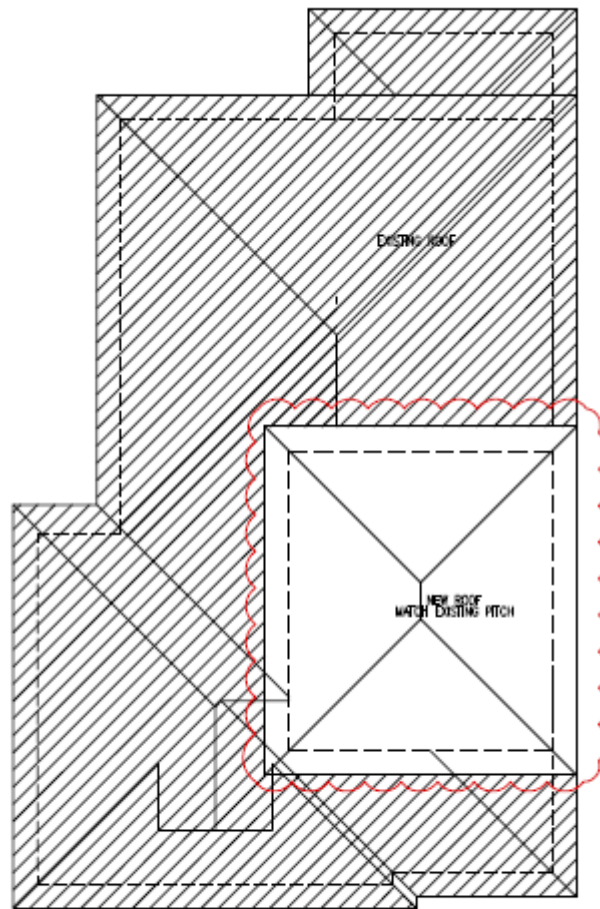


Figure 1. Aerial View



Figure 2. 2013 Google Street View





3 ROOF PLAN  
1/8" = 1'-0"

Figure 3. Roof Plan showing the as-built addition bubbled

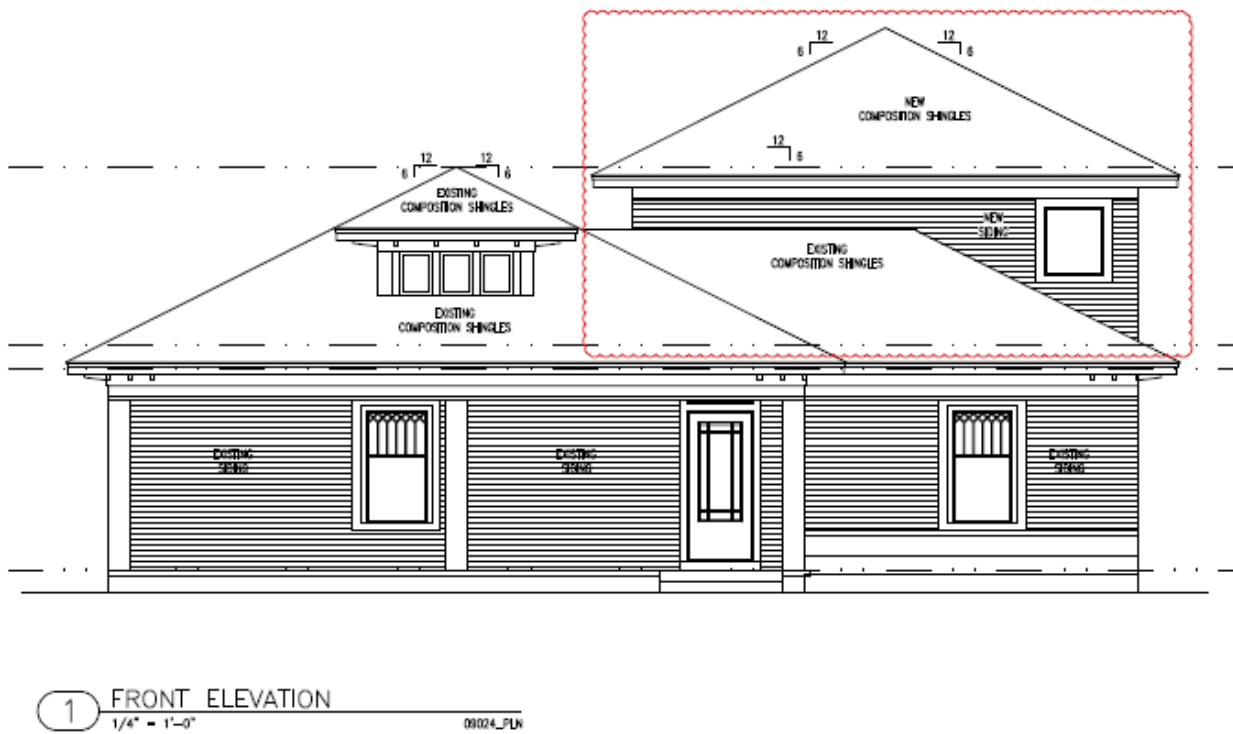


Figure 4. Front (East) elevation showing the as-built condition

Architectural drawing of the rear elevation of a house. The drawing shows a main house with a gabled roof and a smaller addition on the left. The main house has a central window and a smaller window to its right. The addition has a single window. The roof is labeled "NEW COMPOSITION SHINGLES" and "EXISTING COMPOSITION SHINGLES". The walls are labeled "EXISTING SIDING". Dimensions are provided for the roof pitch (12/12), the addition (10'-0" x 10'-0"), and the main house (18'-0" x 9'-0").



Figure 7. As-built construction



Figure 8. As-built construction





July 18, 2014

2 Brothers Homevesting LLC  
Attn: Dustin Collett  
3851 Camp Bowie #300  
Fort worth, Texas 76107

RE: 1622 College Avenue, Fort Worth, Texas ("Property")

Dear Mr. Collett:

On January 13, 2014, the Historic and Cultural Landmarks Commission ("HCLC") heard your request to approve Certificate of Appropriateness ("COA") 13-76 to retain a second story addition that was constructed on the Property in deviation from the design drawings that had been approved by the HCLC as part of COA 13-61 on August 12, 2013. After conducting a public hearing on COA 13-76, the HCLC unanimously denied your request, with prejudice, because the second story addition failed to meet the Fairmount Design Standards pertaining to building setbacks and orientation. Specifically, the second story addition was not visually compatible with the existing structures on the block face and did not maintain the established rhythm and setback spacing. No appeal to this decision was made.

Because the HCLC denied COA 13-76 with prejudice, the Zoning Ordinance prohibits the City from accepting or hearing applications of like nature for a period of twelve months. However, HCLC may waive the delay period and authorize the acceptance of a new application if the property owner submits a written request that the HCLC determines has described substantially changed conditions. You submitted such a request to have the HCLC consider a waiver of the mandatory twelve-month wait period and acceptance of a new application concerning the second story addition based on alternative designs intended to mitigate the visual impact of the existing second story addition, including alterations to the historic roof form, roof dormer, and front porch configuration.

On July 14, 2014, during its regularly scheduled meeting, the HCLC reviewed your request to waive the mandatory wait period and accept a new application for a second story addition at the property. After conducting a public hearing on the matter, the HCLC unanimously denied your request for the following reasons:

- The new design drawings did not significantly change the conditions for which the previous application (COA 13-76) was denied as they did not address or change the location of the second floor addition or changes to the historic roof line.
- The proposed alterations to the original roof form, roof dormer and front porch configuration did not significantly or substantially change the condition of the request.



**PLANNING AND DEVELOPMENT DEPARTMENT**

THE CITY OF FORT WORTH ★ 2ND FLOOR ★ 1000 THROCKMORTON STREET ★ FORT WORTH, TEXAS 76102  
817-392-8000 ★ 817-392-8016



Should you decide to appeal the decision of the HCLC, you may do so by filing a written appeal with the City Secretary and the undersigned within 10 days of the July 14, 2014 decision by the HCLC. No hearing shall be scheduled before the Board of Adjustment until the required filing fee of \$295 has been paid to the Planning Department.

Please be aware that, at this time, the second story addition is not in compliance due the existing unapproved second story addition. In order to bring your structure into compliance you may do one of the following:

- Remove the second story addition completely and restore the original roof form to the structure; or
- Alter or reconstruct the second story addition to match the plans approved by the HCLC on August 12, 2013 (COA13-61) and restore the original roof form.

You will have thirty days to begin bringing your structure into compliance.

Please contact Liz Casso, Historic Preservation Officer, at (817) 392-8037 if you would like further direction regarding your application and the decision of the HCLC.

Sincerely,

Liz Casso  
Historical Preservation Officer

AUDIO TRANSCRIPTION OF  
COA13-76 - 1622 COLLEGE AVENUE  
OCTOBER 14, 2013



ORIGINAL

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HOPE LEWANDOSKI, CSR

DOLORES STEWART & ASSOCIATES, INC. \* (817) 810-0244  
info@doloresstewart.com

1 (Beginning of requested audio transcription)

2 MR. GRIES: We're all set for our next  
3 case, 1622 College.

4 MS. ALVAREZ: COA-13-76, 1622 College  
5 Street. The applicant requests a Certificate of  
6 Appropriateness to retain a second-story addition  
7 constructed in deviation to approved drawings.

8 MR. GRIES: Staff report, please.

9 MS. STEINER: On August 8th, 2013, the  
10 HCLC approved the construction of a second-story  
11 addition with a hipped roof, 117 wood siding and wood  
12 windows with the window configuration and corrected  
13 drawings to be submitted to Staff, as well as the  
14 partial for a tax exemption.

15 Staff reviewed construct -- corrected  
16 drawings and released the building permit on August  
17 20th, 2013.

18 Several were -- complaints were received  
19 by the -- were received by the Staff, and Staff  
20 conducted a site visit on -- on September 23rd, 2013.  
21 At that time Staff asked that the applicant apply for a  
22 retention of the addition that was built in deviation to  
23 the approved drawings.

24 The applicant has -- was approved to  
25 construct an 18-foot by 24-foot second-story addition

1 set back 12 feet from the front wall of the main  
2 structure. The addition was constructed approximately  
3 nine to ten feet from the front wall of the structure,  
4 and has increased in width which resulted in an increase  
5 in square footage.

6 Staff recommends that the Commission  
7 evaluate the existing structure based on the Fairmount  
8 Historic District Guidelines.

9 MR. GRIES: Thank you. Is there anyone  
10 here to speak in favor of this case? Please come  
11 forward. Give us your name and address. Also, be sure  
12 to fill out the -- the speaker's form and hand it in.  
13 You can do that after the meeting, as well.

14 MR. COLLETT: My name is Dustin Collett.  
15 My personal home address is 5016 Calmount. I'm the  
16 builder.

17 The only thing I have to say in favor  
18 necessarily was we received all of our materials. We  
19 had everything stockpiled and ready to go. We put our  
20 floor system up first, which is the way that it's done  
21 for construction, and then we called in for our stakeout  
22 inspection from your inspector so that we knew that our  
23 flooring system was in the right place.

24 And how it got explained to me from my  
25 on-site framer was the way that it was drawn, the floor

1 had to be widened three feet for the stairs to fit at  
2 all. And the -- and the city inspector was the one that  
3 made that point to them. So they just did what he said  
4 and moved forward, and I didn't hear about it until  
5 Sevanne called me and said it's wider than it was  
6 supposed to be.

7 MR. GRIES: Okay.

8 MR. COLLETT: So that's kind of where I'm  
9 at. We've already -- at that point we had already put  
10 the walls up and the siding on and the roof on and the  
11 windows in by the time she told me to stop.

12 MR. GRIES: Okay.

13 MR. COLLETT: So we painted it to keep it  
14 water tight. And that's where we are now.

15 MR. GRIES: Okay. But you understand that  
16 as constructed it does not meet what was approved?

17 MR. COLLETT: It -- I do understand that.  
18 And I'm not making excuses and saying that I did -- you  
19 know, didn't do something necessarily wrong. I'm saying  
20 I built it.

21 MR. GRIES: Right.

22 MR. COLLETT: And -- and all we have is  
23 the pictures of, you know, what it looks like, which is  
24 basically -- it should be historically correct. I mean,  
25 it's like identical from -- to the -- to the first

1 floor.

2 MR. GRIES: I understand. And -- and I  
3 think the way that -- that we might evaluate this is if  
4 this design were presented, would it be approved.

5 MR. COLLETT: Understood. I do  
6 understand.

7 MR. GRIES: And so I think that's what  
8 we'll discuss today.

9 MR. COLLETT: Sure.

10 MR. GRIES: Are there any --

11 MR. COLLETT: That's all. I don't really  
12 have any argument to make. I'm just letting --

13 MR. GRIES: Okay.

14 MR. COLLETT: -- you know how it happened,  
15 I guess.

16 MR. GRIES: Well, thank you for -- for  
17 coming.

18 Are there any questions by the  
19 Commissioners for the applicant at this time?

20 MR. HOLT: Were there any amended drawings  
21 ever made of this project after it was learned that the  
22 stairwell was not appropriate?

23 MR. COLLETT: No. They basically --  
24 and -- and the thing is the contractor -- the  
25 subcontractor that I used had done a third-floor



1 addition for me on another not historically protected  
2 home, but it ended up being a historically recognized  
3 home. We added a third floor, and the same thing  
4 happened to us then. The drawings that the architect  
5 provides us weren't what the inspector wanted or needed  
6 to see, and it had to be changed. And there was no  
7 re -- drawing resubmittal process required. We just  
8 changed it, sort of a shift on the fly, and continued  
9 moving. So that's kind of how we got from point A to  
10 point B. As to ones before we've had an inspector come  
11 out say I don't care what the plans say, it's wrong, it  
12 needs to go here. And that's what we did. And that's  
13 kind of what happened this time, so we just kept going.  
14 It wasn't -- there wasn't another thought given to it  
15 because it's kind of commonplace.

16 MR. HOLT: Just one more follow-up  
17 question. From -- from the time that your contractor  
18 made that -- or heard that -- that need -- or that  
19 change about -- how long a time frame was it before the  
20 new construction -- the expanded construction was in  
21 play?

22 MR. COLLETT: The flooring system, once it  
23 was approved by the inspector, within three days we had  
24 a roof on it to protect the house below it, the  
25 Sheetrock and appliances and all that stuff. So it was

1 three days from the time he gave us that go ahead to  
2 the time we put the roof on it and six days start to  
3 finish completion. And we actually got that inspection  
4 card signed off, I believe, on November -- or September  
5 11th.

6 MS. STEINER: Okay. Yeah, I have -- I  
7 have the inspection card for the stakeout approved as  
8 September 13th.

9 MR. COLLETT: Okay. September 13th.

10 MS. STEINER: And then I received the  
11 first on September the 19th, so six days.

12 MR. COLLETT: So it was six days later we  
13 were done and they -- then the complaints started coming  
14 in.

15 MR. GRIES: And -- and you understand,  
16 though, why the complaints are coming in?

17 MR. COLLETT: I do understand that now,  
18 yes.

19 MR. GRIES: Okay. And I also want to  
20 point out that even though there may have been an issue  
21 with the way that the framing worked -- and our  
22 understanding it had to do with head height on the  
23 stair --

24 MR. COLLETT: Uh-huh.

25 MR. GRIES: -- that that doesn't

1 necessarily determine other changes that will happen.

2 MR. COLLETT: Right. I understand.

3 MR. GRIES: That's an isolated problem  
4 within the house that could have been solved  
5 differently.

6 MR. COLLETT: Right. I understand.

7 MR. GRIES: Okay.

8 MR. COLLETT: That's all.

9 MR. GRIES: Are there any other  
10 Commissions that -- I mean, are there any other  
11 questions from the Commissioners at the time?

12 Okay. I think we'll -- we'll hear some  
13 more testimony.

14 MR. COLLETT: Okay. Thank you.

15 MR. GRIES: Thank you. Is there anyone  
16 else here to speak in favor of this case?

17 Is there anyone here to speak in  
18 opposition? Please come forward and give us your name  
19 and address.

20 And I will say that we have a letter on  
21 file from the neighborhood association.

22 MR. DAHL: Good afternoon. My name is  
23 Martin Dahl, 1704 South Henderson Street. I represent  
24 the Fairmount Neighborhood Association.

25 For this project we request the Commission

1 not approve a COA for the revisions. We looked at --  
2 when -- when it was ini -- the COA application initially  
3 came through, we felt that the second-story addition  
4 would meet the Secretary of Interior Standards and our  
5 own guidelines because it was pushed back far enough so  
6 that it wouldn't take away from the -- from the  
7 character of the structure as being a one-story --  
8 historically a -- a one-story building, but these  
9 revisions with them pushed forward and cutting off the  
10 top of the roof have, essentially, taken away the  
11 historical character of -- of the building and become --  
12 and it makes it just -- that second-story addition is --  
13 is much more prominent.

14 The -- and to -- just to quote some of  
15 Secretary of Interior Standards, Standard No. 2,  
16 historic character of the property shall be retained and  
17 preserved. The removal of historical materials or  
18 alterations of features and spaces that characterize the  
19 property shall be avoided. And when we talk about the  
20 spaces and -- and all of the features and spaces, we're  
21 talking about it being a one-story structure.

22 Also, it recommends that new additions be  
23 undertaken in a manner that if removed in the  
24 future, essential form and integrity of the historic  
25 property and its environment be unimpaired. So,

1 again, this addition by not being subordinate to the --  
2 the historic nature of the building -- if you were to if  
3 not actually remove it, but even virtually remove it,  
4 you're not left with it's -- the -- the original  
5 historic structure. So both of those go into our  
6 opinion regarding it -- whether the -- it was done in  
7 accordance to the guidelines.

8 This is an ongoing concern of ours and is  
9 a concern of the neighbors. As you've seen, you got  
10 several complaints. The -- in the neighborhood, there's  
11 always the desire to make things bigger, and we always  
12 are struggling to try to control that and make sure any  
13 additions are within the guidelines. I mean,  
14 residents -- I mean, we hear it in meetings all the  
15 time. There are concerns that are we going to lose our  
16 historic designation if these kinds of additions occur  
17 more frequently? I was nearly tarred and feathered in  
18 the last general meeting we had. But, anyway, it -- it  
19 was nice to know that the residents are -- are very  
20 concerned about these types of additions. It's always a  
21 challenge.

22 MR. GRIES: Thank you. Could I ask you to  
23 describe a little bit more in detail as to how this  
24 existing addition alters the charact -- the historic  
25 character? Well, what happens when this addition got

1 pushed forward? What did it do to the roof line?

2 MR. DAHL: Well, yeah. The -- as you can  
3 tell in the pic -- the -- it completely cuts off the --  
4 the peak. If you're looking on -- you can see right  
5 there. That's --

6 MR. GRIES: Uh-huh.

7 MR. DAHL: -- a good picture. On the left  
8 hand you see the point, the peak of the roof. And  
9 you're -- you're standing from the -- from the street in  
10 this picture. And -- and it's obviously a -- a  
11 one-story structure, a more transitional style. Kind of  
12 a Queen Anne with that -- that center peak. But with  
13 the addition of the initial design, that peak would  
14 still retain. The point of -- of that -- not the  
15 dormer, but -- but the primary box of the -- of the --  
16 of the house you retain that peak as you see from the --  
17 the right of way. And the -- yes, and on the left --  
18 oh, go back to that --

19 MR. GRIES: Yeah --

20 MR. COLLETT: -- (unintelligible)  
21 elevation.

22 MR. GRIES: -- could we go back on slide?

23 MR. DAHL: So -- so with the addition the  
24 way it was approved, that was pushed back. If you were  
25 to stand at the struc -- at the back, you could -- you

1 could see the addition toward back, but you would still  
2 retain kind of the -- the initial pro -- elevation and  
3 the front peak. Now, with the new addition with the way  
4 it's moved forward, it's completely cut off, that peak.

5 MR. GRIES: Okay.

6 MR. DAHL: And it has just made the -- the  
7 whole massing so much more larger in -- in -- toward the  
8 front --

9 MR. GRIES: Yes.

10 MR. DAHL: -- when you see it from the  
11 public right of way.

12 MR. GRIES: Yeah. I think the photograph  
13 clearly described that. It also appears that on these  
14 drawings that the top peak of the roof of the addition  
15 has gotten taller --

16 DAHL: Yes.

17 MR. GRIES: -- than it was in the  
18 originally-proposed drawing.

19 MR. DAHL: Yes. So, again, its -- its  
20 historic character as a one-story house has been  
21 altered.

22 MR. GRIES: Thank you. And so if -- if  
23 this -- let's just suppose that this design was  
24 presented to the neighborhood committee, those would be  
25 your concerns, that --

1 MR. DAHL: Oh, yeah. Yes.

2 MR. GRIES: -- that it doesn't meet the  
3 guidelines because it --

4 MR. DAHL: Yes. And the -- and the -- we  
5 even -- when we were looking at this design, we were,  
6 you know, Staff and us, we try and encourage its moving  
7 even further back than -- than the approved location.  
8 You know, for the very reason that -- to -- to push the  
9 massing more toward the back. So it was kind of already  
10 stretching it -- the -- the design that was approved.  
11 So this far forward definitely would not have been  
12 approved.

13 MR. GRIES: Okay.

14 MR. DAHL: At least by us.

15 MR. GRIES: Okay. Are there any other  
16 questions from the Commissioners?

17 MR. HOLT: Yeah, I -- I -- I have a  
18 question. And this kind of gets to the heart of --

19 MR. DAHL: Uh-huh.

20 MR. HOLT: -- why I asked the gentleman --  
21 the contractor how -- how long. Is it -- so it's true  
22 that the association was involved to some -- and had  
23 some input in the original plan?

24 MR. DAHL: Yes. Yes.

25 MR. HOLT: Is that right?



1 MR. DAHL: Yeah.

2 MR. HOLT: And were --

3 MR. DAHL: I mean, yes, we -- we reviewed  
4 the initial design --

5 MR. HOLT: Uh-huh.

6 MR. DAHL: -- when it came up back in  
7 August --

8 MR. HOLT: Uh-huh.

9 MR. DAHL: -- and -- and it came into this  
10 session.

11 MR. HOLT: Uh-huh.

12 MR. DAHL: And we submitted -- we  
13 recommended approval of -- of what was opposed --  
14 proposed at that time, yes.

15 MR. HOLT: Okay. And -- and then this is  
16 just -- I'm going to make a statement, but just for  
17 clarification. In some time line that I reviewed  
18 earlier today, it appeared that very quick that after  
19 construction began to change that there was a complaint  
20 from the neighborhood association.

21 MR. DAHL: Right.

22 MR. HOLT: Is that correct?

23 MR. DAHL: Yes. People who live in the  
24 neighborhood, they see what's going on --

25 MR. HOLT: Yeah.

1 MR. DAHL: -- and some people -- we have a  
2 committee. They all saw the design. And they go by  
3 and -- and question, like, wait, that's not what we  
4 looked at.

5 MR. HOLT: Okay.

6 MR. DAHL: Or that's not what we -- and, I  
7 mean, some people even without looking at the design  
8 know that wasn't right, there's something wrong going on  
9 there. So that's what happens.

10 MR. GRIES: So even those individuals who  
11 were not involved with the design process could --

12 MR. DAHL: Yeah.

13 MR. GRIES: -- identify that something --

14 MR. DAHL: Right.

15 MR. GRIES: -- was different from the  
16 other structures that had been approved?

17 MR. DAHL: Yes.

18 MR. GRIES: Thank you. Are there any  
19 other Commissioners -- I mean, any other the questions  
20 from the Commissioners?

21 MR. DAHL: Thank you.

22 MR. GRIES: Okay. Is there anyone else  
23 who would like to speak in opposition to this case?

24 Please come forward and give us your name  
25 and address.

1 MS. HARPER: My name is Susan Harper. I  
2 live at 2248 5th Avenue, and I am a member of the HP  
3 Committee in Fairmount. And I'm one of the people that  
4 took pictures and sent them to Sevanne and said this is  
5 not what we talked about.

6 There are just a couple of points I'd like  
7 to make. One is that if we continue to allow houses to  
8 be built bigger and bigger and bigger, we're not going  
9 to be historic Fairmount anymore. We're going to be a  
10 suburb of Colleyville, Grapevine, Southlake, and that --  
11 that's not what I moved down here for.

12 And secondarily -- secondarily, I had a  
13 thought. When the -- the historic committee in general  
14 is getting a lot of flack from the neighborhood because  
15 we're allowing this, and so we have to explain how it is  
16 that we said we could do one thing and then somebody did  
17 something else and nobody stopped them. So from -- from  
18 our perspective, we're getting it from both sides.

19 And -- and I would -- I would urge you  
20 that our historic guidelines and standards cannot have  
21 any teeth if we don't ever make people stick to them.  
22 Once -- once we have said you can do this and once you  
23 have -- have approved a certain thing, then somehow or  
24 another that has to be the -- what they have to do or --  
25 or we might as well just not have standards at all.

1 Thank you.

2 MR. GRIES: Thank you. Could I ask you  
3 one quick question for clarification?

4 MR. HARPER: You can ask me all sorts of  
5 questions.

6 MR. GRIES: Thank you. So I -- I think  
7 that although the size of the addition as constructed is  
8 about 100 square feet larger than what was originally  
9 proposed --

10 MS. HARPER: Yes.

11 MR. GRIES: -- it -- it's -- the  
12 guidelines don't specifically address the size of a  
13 house, but really as to how those additions are  
14 articulated?

15 MS. HARPER: The mass more than the size.

16 MR. GRIES: The mass and the scaling.

17 MS. HARPER: Yes.

18 MR. GRIES: So in -- in this case would  
19 you say that it's the mass and the scaling --

20 MS. HARPER: And the scale.

21 MR. GRIES: -- that are at issue?

22 MS. HARPER: It's totally out of scale to  
23 the -- to the -- to the house that it is added onto.

24 MR. GRIES: Uh-huh. So as part of the  
25 design review committee, do you see other possibilities

1 that could have been done if -- if this piece --

2 MS. HARPER: I --

3 MR. GRIES: -- needed to be --

4 MS. HARPER: I am not --

5 MR. GRIES: -- removed or be altered?

6 MS. HARPER: I am not the expert. I have  
7 a -- a good eye, but I'm not the expert with the words.  
8 I'm -- what I would have said is when he realized he had  
9 a problem with the staircase, then he needed to have  
10 contacted Martin --

11 MR. GRIES: Uh-huh.

12 MS. HARPER: -- and any one of us would  
13 have been glad to come over and talk him through a way  
14 to make it work.

15 MR. GRIES: Okay.

16 MS. HARPER: He chose not to.

17 MR. GRIES: Thank you.

18 MS. HARPER: You're welcome.

19 MR. GRIES: Oh, I'm sorry, there's a --

20 MR. SELF: I had a question.

21 MR. GRIES: There's another question here.  
22 Can't let you go so early.

23 MR. HOLT: I can appreciate your position  
24 about the scale and mass of this and its position. Are  
25 there other houses -- and this maybe is for all three

1 that -- that stood at the podium. Are there other  
2 houses on the block or nearby that have a similar mass  
3 that is somewhat in the same position towards the front  
4 of the building?

5 MS. HARPER: On that particular block?

6 MR. SELF: Yeah.

7 MS. HARPER: I don't believe so. Martin,  
8 correct me if I'm wrong.

9 UNIDENTIFIED SPEAKER: (Unintelligible).

10 MS. HARPER: To tell you the truth, I  
11 would have to say somebody pull up the historic  
12 Fairmount Web site and look at that block.

13 MR. SELF: Yeah.

14 MS. HARPER: I don't think so. Sevanne  
15 may be able to answer that better than I.

16 MS. STEINER: If you look at the aerial on  
17 the -- if you look at the aerial on -- that's on the  
18 screen now, you can see that the structure below the one  
19 that's marked A -- or, I guess, to the left of the one  
20 marked A has a two-story garage structure.

21 MR. SELF: Uh-huh.

22 MS. STEINER: Then the one going above --  
23 or to the top to the right those two structures have  
24 second-story massings. They are pushed to the rear part  
25 of the structures. And you can also see that on -- on

1 the other block face, that the block face across the  
2 street has massing that is pushed -- second-story  
3 massing that's pushed toward the rear.

4 When this originally came to the  
5 Commission, that was specifically noted in the Staff  
6 report that that is -- that was the preference for where  
7 Staff would like -- typically like to see massing.  
8 However, because of trying to get the stair in with the  
9 program, that is why the applicant was asking for in  
10 this location. And Staff concurred with that  
11 programming.

12 MR. SELF: So it had already been moved up  
13 from the favorable position to compromise, and when it  
14 was built, it was moved even further to the front.  
15 That's kind of what happened?

16 MS. STEINER: Yes.

17 MR. SELF: Okay.

18 MS. STEINER: Yes. Although, the -- the  
19 applicant had always -- the applicant had always  
20 proposed that -- the location that was approved. Staff  
21 had asked why it wasn't pushed toward the back like  
22 everything else, and it was because of the program to  
23 accommodate that stair and building code.

24 MR. SELF: And I -- I just have one last  
25 question. From the comparison elevations on the

1 side, what was approved versus what was built, the  
2 windows in the top image have a very different character  
3 and, I think, a different size than what was built. Is  
4 that an issue at all for you-all?

5 MS. HARPER: We asked him -- them to -- to  
6 go back to one over one, that the -- what is that, six  
7 over six? It was not appropriate.

8 MR. SELF: Okay. So that's not an issue  
9 for you-all?

10 MS. HARPER: It wasn't --

11 MR. SELF: It's the massing --

12 MS. HARPER: It wasn't an issue because he  
13 agreed to take out six over six.

14 MR. SELF: Okay.

15 MS. HARPER: As far as I know, they're not  
16 there.

17 MS. STEINER: They -- they're one over  
18 one -- they're paired one over ones with correct trim.  
19 That was both the Staff and Fairmount Neighborhood  
20 Association that the applicant agreed to, and that was  
21 in the final drawings.

22 MR. SELF: Okay.

23 MS. HARPER: Any other questions? Thank  
24 you.

25 MR. GRIES: Thank you very much.



1                   Is there anyone else who would like to  
2 speak in opposition? Hearing none, there's -- there's a  
3 chance for rebuttal. No? Okay. I do have one  
4 curiosity question for you. The site plan that was  
5 submitted as existing seems to have the driveway on the  
6 left-hand side and then the proposed drawing had the  
7 driveway on the right-hand side.

8                   MR. COLLETT: We -- yeah, the architect  
9 fixed that before we submitted our finals. I'm not --  
10 she just had an old drawing and threw it in there.  
11 That -- that was actually fixed --

12                  MR. GRIES: Okay.

13                  MR. COLLETT: -- before we came to the  
14 first meeting.

15                  MR. GRIES: So -- so the driveway hasn't  
16 been moved; it's just one drawing is incorrect?

17                  MR. COLLETT: The drawing on the left  
18 side, correct. It's -- it's correct in the right  
19 draw -- the drawing on the right side.

20                  MR. GRIES: Okay.

21                  MR. COLLETT: And would you mind going  
22 back to the pictures, the actual pictures of the side as  
23 it was built? Like that right there.

24                  MR. GRIES: Uh-huh.

25                  MR. COLLETT: Okay. Take note of the

1 second story where it's located and how much room there  
2 is to the back of the house in that picture. There's  
3 about 12 feet to the back of house. Go to the next  
4 picture. And this is -- I'm pointing out my own flaws  
5 at the moment. The -- the arc -- the drawing that we  
6 were looking at showing it pushed all the way forward  
7 it's actually centered on the right side of the house.  
8 The drawing on the right side that says actually  
9 constructed, that's still not right. And this has been  
10 the issue from the get-go, is my architect.

11 And -- and I'm kind of throwing him under  
12 the bus at the moment, but -- and Sevanne will tell you  
13 that same thing -- he drew it having the load-bearing  
14 wall be right down the ridge line, which is why it was a  
15 ridge off -- why it came off the ridge from the get-go.  
16 And then when we got in there, the inspector said, no,  
17 you can't -- and I wasn't present for this. The  
18 inspector said you can't build them like that, you have  
19 extend it to here for the ceiling height for the -- for  
20 the stairs. When you walked up the stairs, you had like  
21 a six-foot ceiling right here.

22 So, again, just shifting on the fly, my  
23 contractor, having been told once before by an inspector  
24 what to do, we just did it. Not saying that anybody's  
25 right or wrong or trying to be argumentative, this was

1 the only way to build a second floor onto that house.  
2 So if they had done it in 1940 or -- or 2013, this was  
3 the only way it could have been done.

4 MR. GRIES: Well --

5 MR. COLLETT: But the addition on the back  
6 across the back --

7 MR. GRIES: -- I don't know if we have  
8 enough evidence --

9 MR. COLLETT: Well --

10 MR. GRIES: -- to prove that's the only  
11 way it could be done.

12 MR. COLLETT: -- when we started building  
13 it, when -- with what we had, this was the only way that  
14 it could have been done.

15 MR. COLLETT: Well -- but I understand  
16 there's also a process that the contractor's required to  
17 go through with the architect's plan to determine that  
18 everything can be built as drawn before they start any  
19 construction.

20 MR. COLLETT: And I did that.

21 MR. GRIES: But, apparently, you didn't  
22 because it wasn't brought back to the Commission --

23 MR. COLLETT: Well --

24 MR. GRIES: -- or it wasn't brought back  
25 to Staff, it wasn't brought to the neighborhood

1 association. There are many ways to solve this problem.  
2 And, unfortunately, the way that this problem was solved  
3 does not meet the guidelines currently.

4 MR. COLLETT: I -- I agree. And, again,  
5 it's -- it's a little tragic that I -- by the time I  
6 realized and everybody saw that it was too big, it was  
7 already built, is what happened. And we stopped since  
8 then. I mean, I painted it to seal the wood, hoping  
9 that this would get approved one way or the other.

10 But, I mean, I -- I'm -- I know that  
11 what -- the way it happened wasn't right. It's just I  
12 was told to put a roof on it by an inspector, and so I  
13 did.

14 MR. GRIES: Okay.

15 MR. COLLETT: That's all. I didn't really  
16 have a rebuttal so...

17 MR. GRIES: Okay.

18 MR. COLLETT: If there's any more  
19 questions, though, I'll do my best to answer them.

20 MR. SELF: I just want to clarify  
21 something you said because -- I know what you said, but  
22 I wanted to clarify it. That contractor's  
23 responsible -- you're sort of trying to throw the arc --  
24 and I'm an architect, so that's why I'm going to say it.

25 MR. COLLETT: Right.

1 MR. SELF: You're throwing him under the  
2 bus. But in any contract for construction you're  
3 required as the contractor to verify that the drawings  
4 do not deviate from the existing condition. So you  
5 share responsibility for that. So I just wanted to  
6 clarify it --

7 MR. COLLETT: That's why --

8 MR. SELF: -- clarify that -- that it's --  
9 was not -- that you were not responding to someone  
10 else's errors.

11 MR. COLLETT: Yes, sir.

12 MR. GRIES: Is there anybody else who has  
13 any questions? Okay. I think that concludes the public  
14 portion. I'd like to go to the Commissioners for a  
15 motion and/or -- I mean, discussion and/or a motion.

16 MS. SANDERS-WISE: In the matter of  
17 COA12-76, 1622 College Avenue, I move for denial of this  
18 COA simply because it does -- it was not constructed as  
19 approved by Historic and Cultural Landmarks Commission  
20 in August 2013.

21 MR. GRIES: Thank you. We have a motion.  
22 Is there a second? We have a second. Is there any  
23 discussion -- any --

24 MS. STEINER: Staff --

25 MR. GRIES: -- further discussion on that

1 motion?

2 MS. STEINER: Staff would like to really  
3 encourage discussion on this motion.

4 UNIDENTIFIED SPEAKER: What is that?

5 MR. HOLT: Yeah, I --

6 MS. STEINER: Staff encourages --

7 MR. GRIES: (Unintelligible) a little more  
8 discussion.

9 MS. STEINER: -- discussion.

10 MR. HOLT: I have a -- I have a little bit  
11 more discussion on this. And interesting because I  
12 recently driven through Fairmount, and it's amazing how  
13 they've been able to maintain the integrity of that  
14 neighborhood. And I -- I just have to believe that with  
15 the input that I know had to be part of the original  
16 design and the speed and dexterity with which members of  
17 the neighborhood responded and got us a letter, I --  
18 I -- I have to believe that someone on that site or  
19 anyone involved in construction of that site had to be  
20 aware that something was not going to be a happy  
21 resolution. I -- I just don't think there was enough  
22 time from the immediacy of which the neighborhood  
23 responded. That's my interpretation from what I've read  
24 and seen both here and from Staff.

25 MR. GRIES: I would agree with that

1 observation. I would also say that when this case did  
2 come before the Commission before, there was lengthy  
3 discussion about the scale and the massing of this. And  
4 I know that there were subsequent meetings with Staff  
5 and the owner and the neighborhood association  
6 specifically because the majority of the houses in the  
7 neighborhood have the addition to the rear, that's the  
8 existing fabric, the existing scale and massing, and,  
9 you know, as -- as the gentleman mentioned, this is a  
10 compromise to bring it forward as much as possible, but  
11 it was the understanding that bringing it that far  
12 forward had the least impact on the scale and the  
13 massing of the existing structure, and that anything  
14 that moved forward had an -- had an adverse impact on  
15 that scale and massing.

16 MS. JONES: I remember that from our  
17 August discussion that we were very concerned about the  
18 mass of -- and the placement and were assured that the  
19 agreement between the Historic Preservation Committee of  
20 Fairmount and the builder -- they had reached one that  
21 was compatible. And had -- you know, I can't look  
22 backward. But had this constructed design been  
23 presented as a proposed design, it would not met the  
24 guidelines that would have been presented to us by  
25 Fair -- by Fairmount at the time. So it -- it doesn't

1 meet the guidelines, and it's just out of place.

2 MR. GRIES: Yes. Thank you. I think --  
3 to further that, I think it also shows a lack of respect  
4 for the process. That there was a lot of process put  
5 into the design of this, and to just slap a roof on and  
6 get it done just doesn't -- it doesn't cut it in this  
7 kind of neighborhood.

8 MR. SELF: And -- and I would have said  
9 that -- that the fact that there's not a pattern even on  
10 that block of masses close -- you know, had there been,  
11 that probably would have been a part of that earlier  
12 discussion, but it -- you know, I wasn't part of that --  
13 that case at that time.

14 But mass and scale are somewhat nebulous.  
15 They're -- you can recognize them and we can talk about  
16 them, but the position of that mass that far forward and  
17 that there's nothing else on that block or nearby,  
18 that's undeniable and it's very clear. What's even more  
19 clear is that it wasn't even built the way it was  
20 presented and approved.

21 MR. GRIES: Agreed. So we have a motion  
22 and a second. Is there any further discussion? Okay.  
23 Let's put it to a vote. And the -- just to clarify, the  
24 motion is to deny.

25 MS. SANDERS-WISE: Deny.



1 (Commission voting)

2 MR. GRIES: There it goes.

3 UNIDENTIFIED SPEAKER: (Unintelligible)

4 deny.

5 MR. GRIES: To deny.

6 UNIDENTIFIED SPEAKER: This motion passes.

7 MR. GRIES: That motion passed.

8 UNIDENTIFIED SPEAKER: It's passed. Yea.

9 MR. GRIES: So the motion is passed to  
10 deny the retention of the addition as constructed. Is  
11 that correct? Does Staff want to --

12 MS. STEINER: Yes.

13 MR. GRIES: -- confirm that? Thank you.

14 MS. STEINER: Yes.

15 MR. GRIES: Excellent.

16 (End of requested audio transcription)

17

18

19

20

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22

23


24

25 STATE OF TEXAS )

COUNTY OF TARRANT)

I, HOPE LEWANDOSKI, a Certified Shorthand Reporter,  
in and for the State of Texas, hereby certify that the  
preceding 31 pages is a true record transcribed from an  
audio recording.

Witness my official hand this 8th day of November  
2013.

  
HOPE LEWANDOSKI, CSR  
Expires: 12-31-13  
Dolores Stewart & Associates, Inc.  
Firm Registration No. 70  
1701 Pennsylvania Avenue  
Fort Worth, Texas 76104  
(817) 810-0244

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**

---

<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Jessica Appel/Jason Binzer
<b>LOCATION</b>	2111 Alston Avenue
<b>ZONING/ USE (S)</b>	B/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount Southside

**ANALYSIS OF PROPOSED WORK**

---

**CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to construct a single-story single-car garage.

**APPLICABLE FAIRMOUNT DESIGN STANDARDS****SECTION 2 – STANDARDS AND GUIDELINES FOR ACCESSORY STRUCTURES**

*4. New accessory structures shall be designed to complement the period and style of the main structure and shall meet all other design guidelines.*

*5. New accessory structures shall be located at the rear of the property or zero lot line when appropriate.*

*7. Garages shall not exceed two bays unless replacing an existing three bay garage.*

**SECTION 5 – STANDARDS AND GUIDELINES FOR NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS AND RELOCATION**

*1. The height and overall scale of new construction and additions shall be consistent with that of adjacent structures. In residential areas, the height and scale of new construction should generally not exceed that of adjacent structures by more than one story. In commercial areas, a greater variation in height may be appropriate with appropriate transitions. Step downs in building height, wall plane offsets and other variations in building massing should be utilized to provide transition when height of new construction exceeds adjacent structures by more than a half story.*

***FINDINGS/RECOMMENDATIONS***

---

The proposed work is to construct a 13' x 24' single-story single-car garage with exterior walls clad in 5" cementitious siding with 1x4 cementitious trim, Pella Carriage House single garage door, and a 6-panel steel person door on the west elevation. A 6 1/2:12 gable roof clad in asphalt shingles with exposed rafters and a 1'-6" overhang completes the overall form and character of the proposed garage which is compatible with the historic character of the District. The proposed accessory structure is to be located at the rear of the property and in this regard, is consistent with the District Standards.

**Staff therefore recommends that the Application for a Certificate of Appropriateness to construct a 13'x24' single-story single-car garage be approved.**

SUPPLEMENTAL MATERIAL

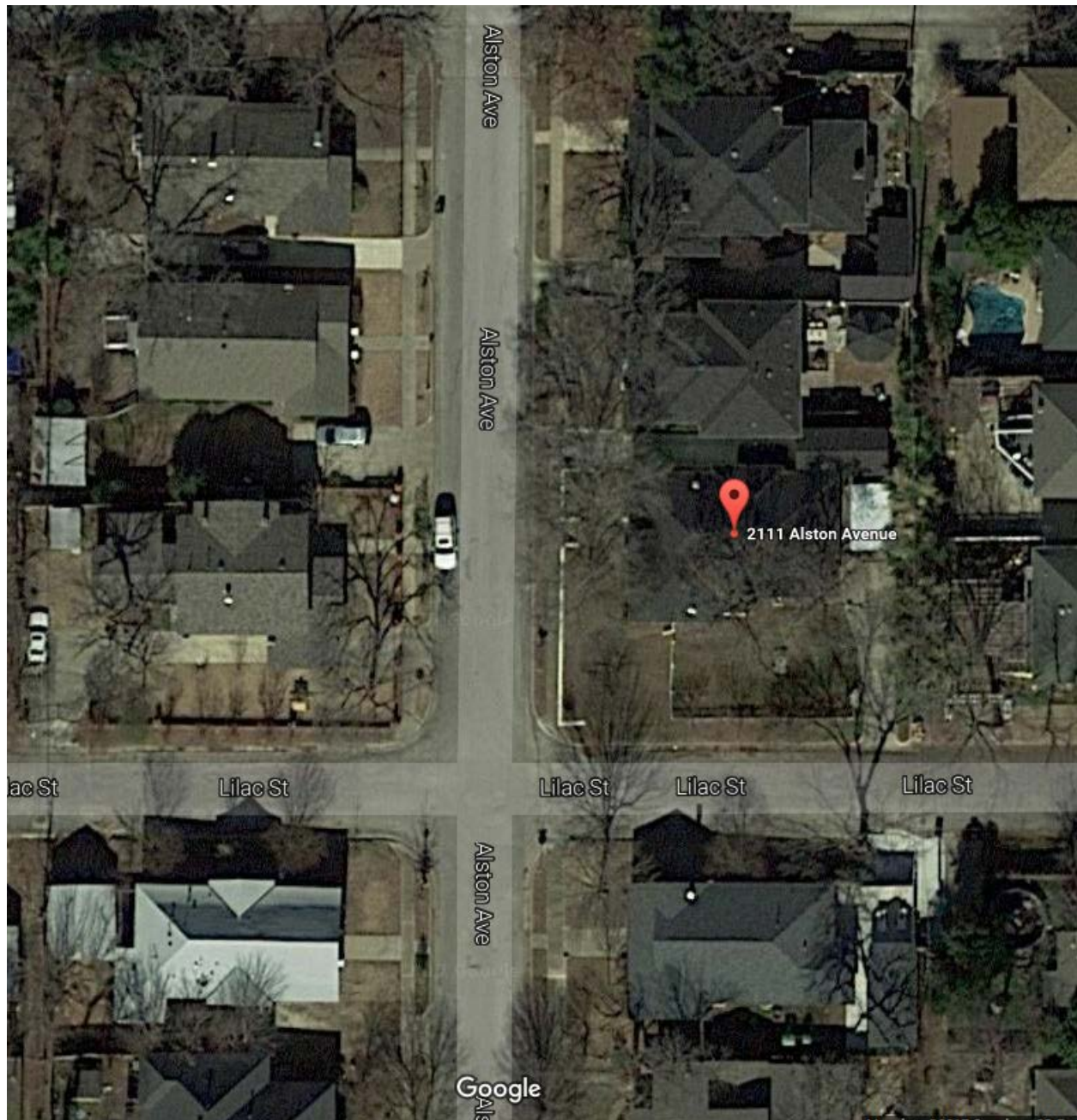


Figure 1. Aerial View

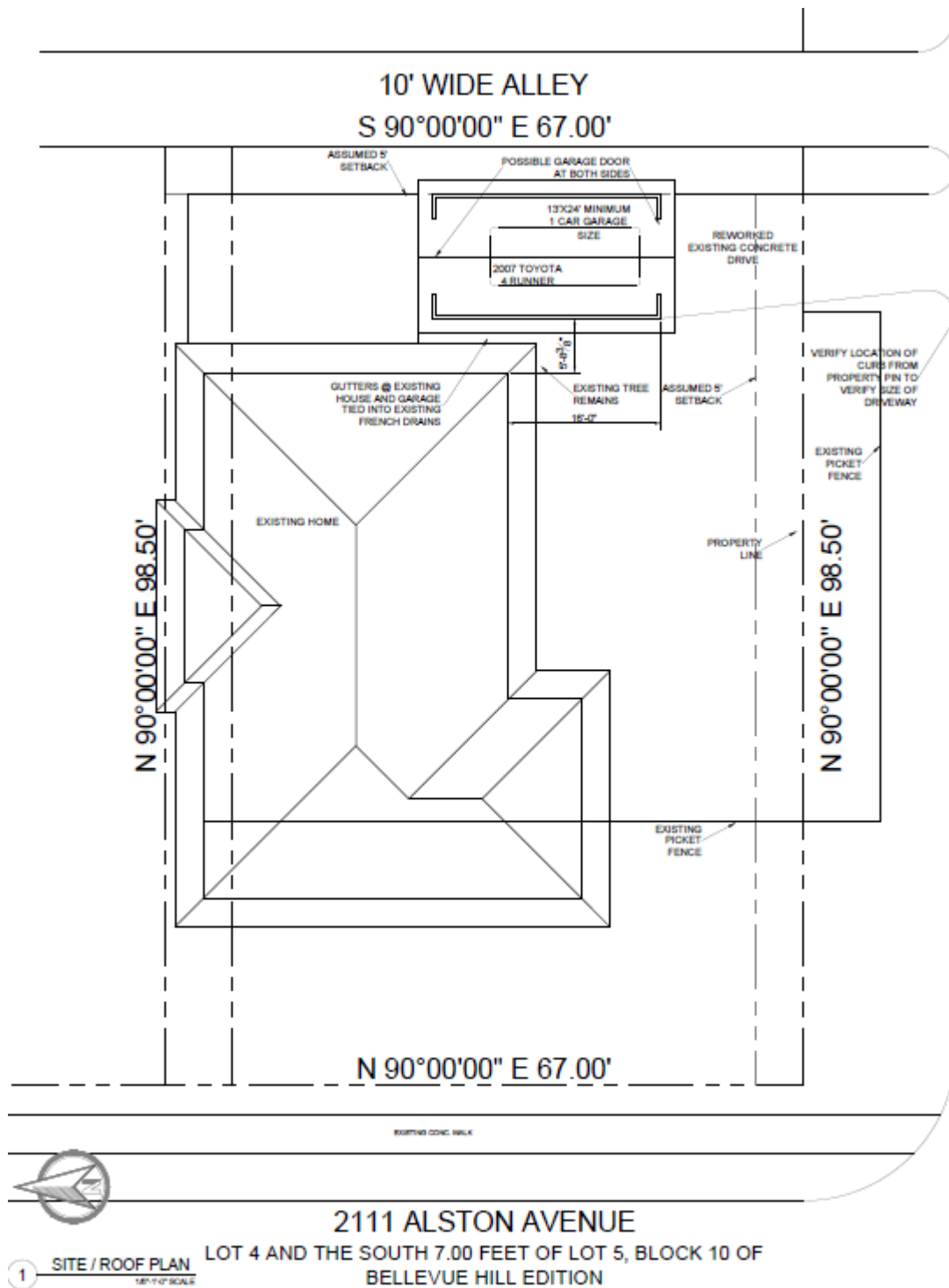


Figure 2. Site Plan

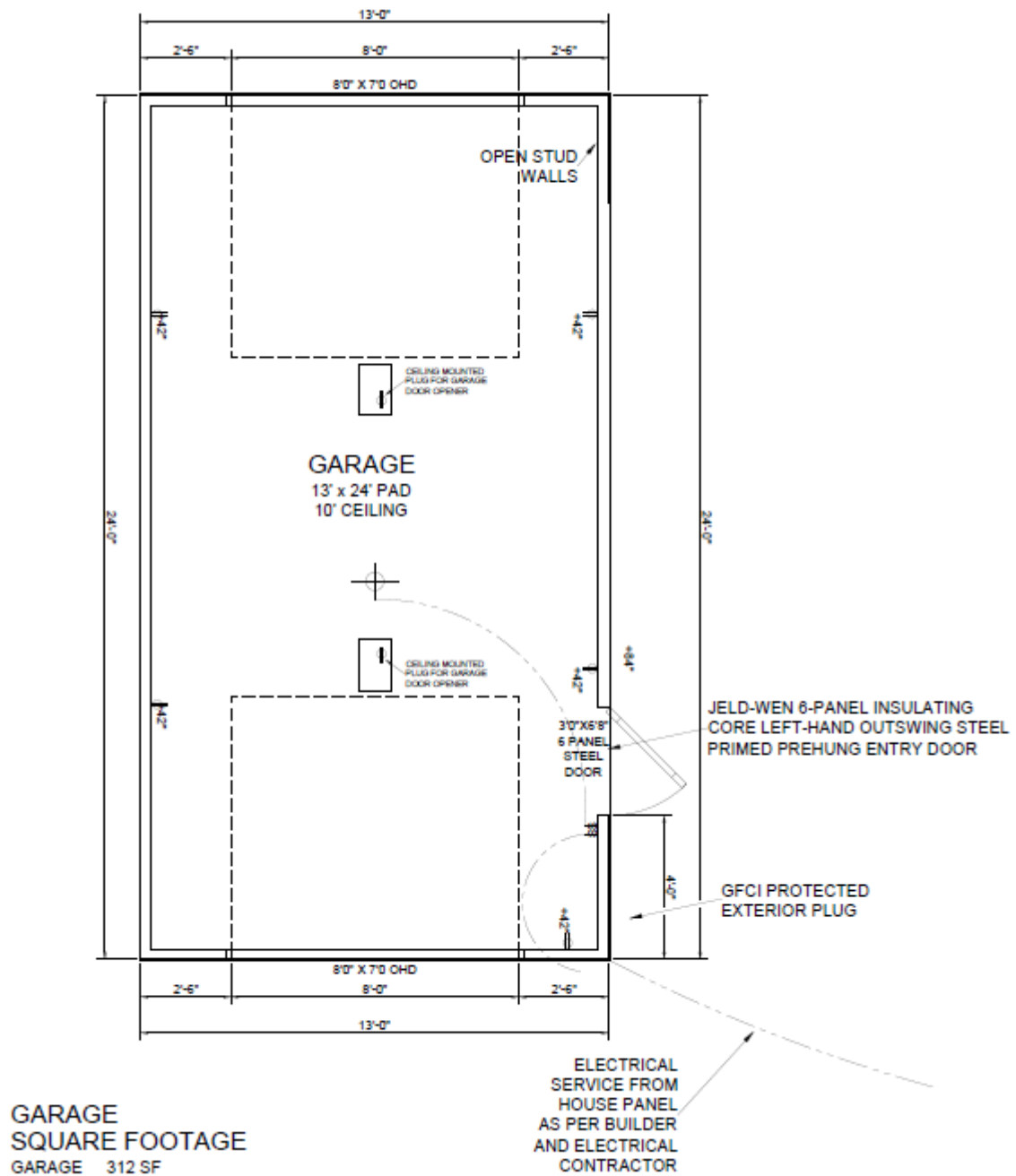
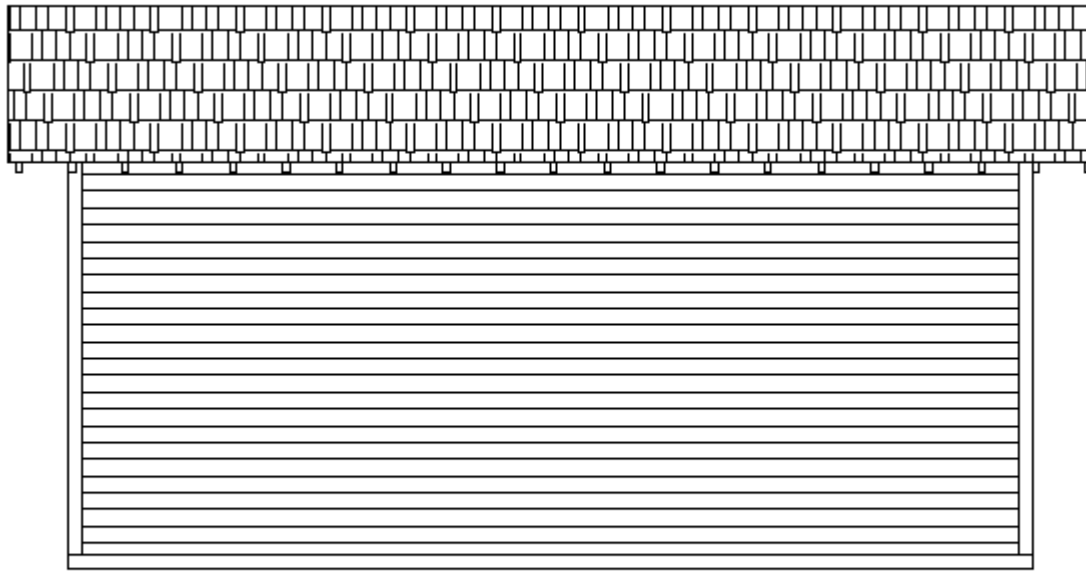


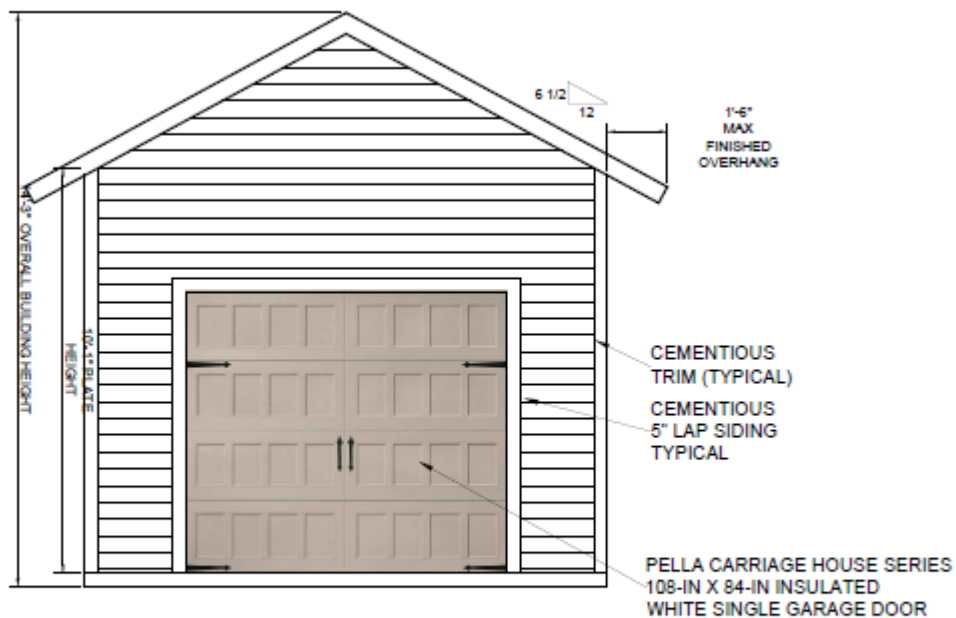
Figure 3. Floor plan of proposed garage



### 1 EAST ELEVATION

1/4"=1'0"

Figure 4. East elevation of the proposed garage



### 3 SOUTH ELEVATION

1/4"=1'0"

Figure 5. South elevation of the proposed garage



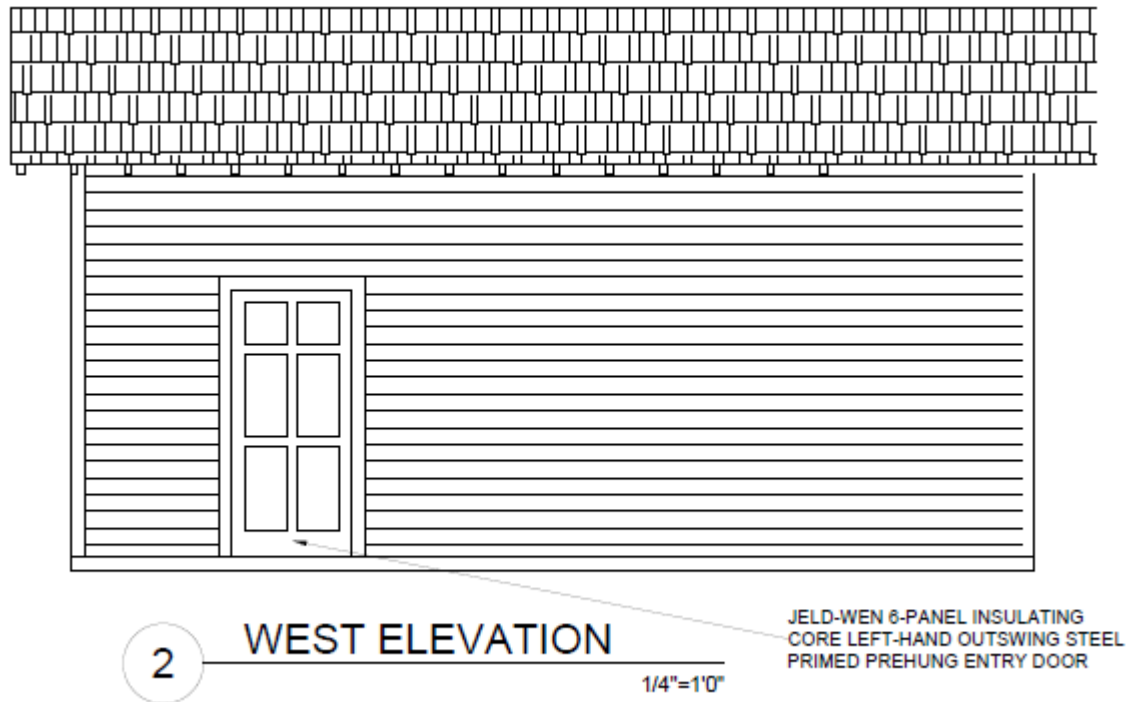


Figure 6. West elevation of the proposed garage

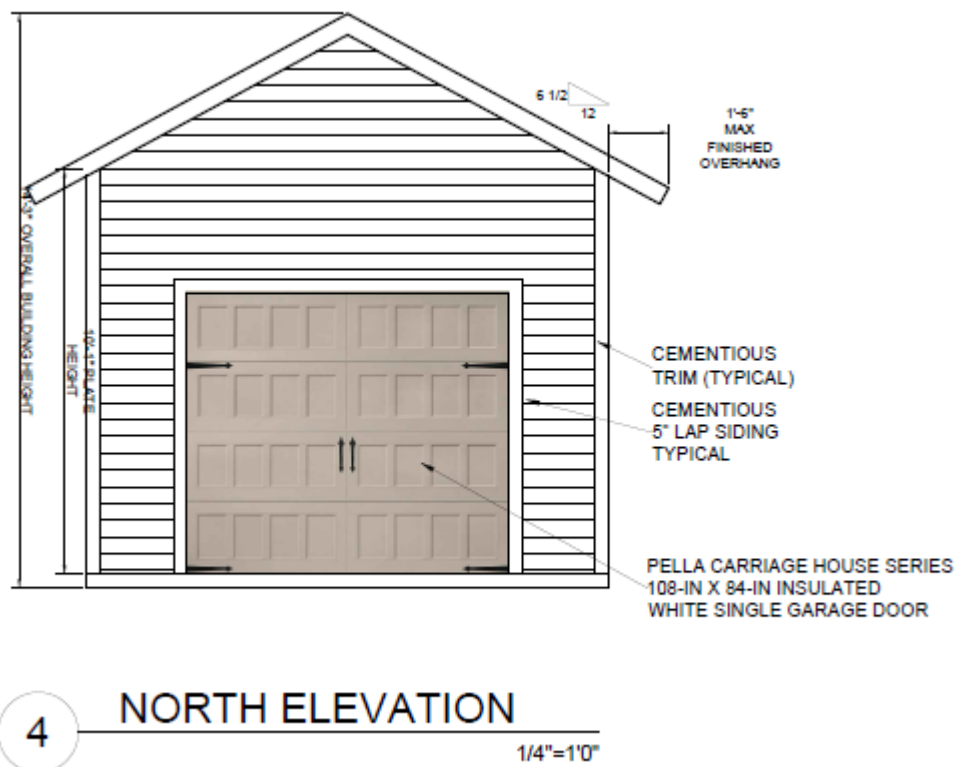
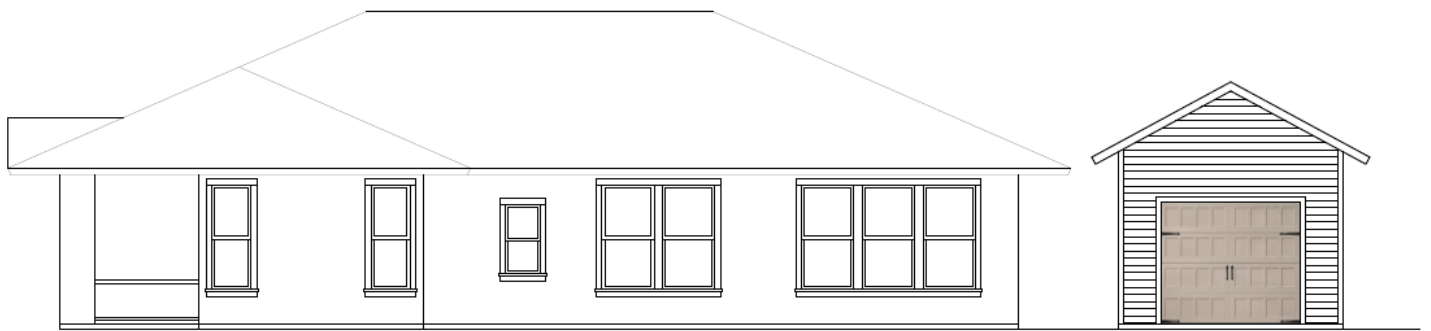


Figure 7. North elevation of the proposed garage



1 EXISTING SOUTH ELEVATION  
3/16"=1'-0"

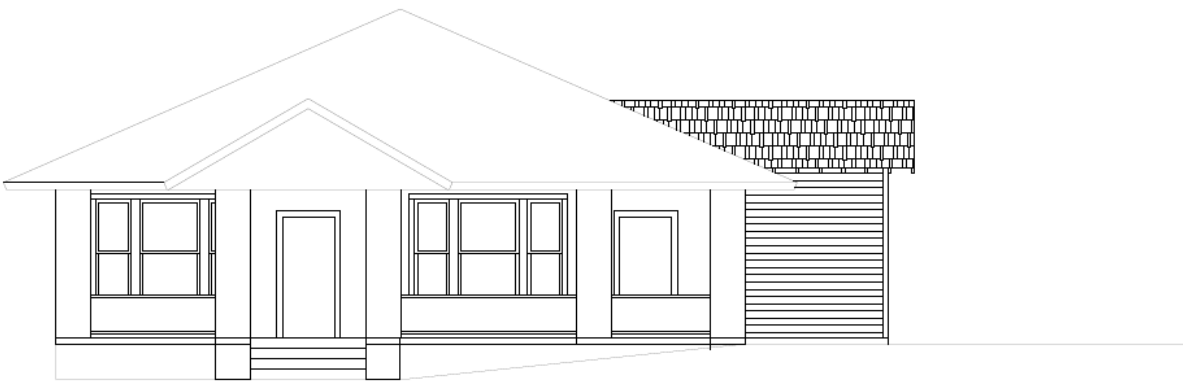


Figure 8. Elevations of proposed garage shown in relation to the existing house

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

***GENERAL INFORMATION***

---

<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Telly Gonzalez
<b>LOCATION</b>	1210 W. Richmond Avenue
<b>ZONING/ USE (S)</b>	B/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount

***ANALYSIS OF PROPOSED WORK***

---

**CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to retain a recently installed concrete front yard, add a 6 ft. walkway, and a 2'-0" x 4'-0" flowerbed to the subject area.

**APPLICABLE FAIRMOUNT DESIGN STANDARDS****Paving Standards**

14. In no instance shall the front yard of any lot be paved or graveled except for a driveway or walkways.

15. There shall be no front yard area designated as a vehicle parking area or paved as such.

16. Walkway paving in the front yard shall be:

- A walkway from the front property line to the front entry of the structure or, on a corner lot, from the side property line to a side entry of the structure.
- The walkway shall not be wider than the width of the entry steps and in no instance shall the walkway be wider than ten (10) feet.
- A walkway from the driveway to the front and/or side entry walkway. Shall be a maximum of four (4) feet in width.

17. A front entry driveway shall be no wider than one car width or ten (10) feet maximum but may be widened just prior to a two car garage.

18. A front entry driveway may extend along the side of the residence or structure, through the Porte Cochere if applicable, to the garage or out-building, or to the rear yard.

## SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

### Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **SITE**

#### *Recommended*

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Retaining the historic relationship between buildings and the landscape.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

#### *Not Recommended*

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Introducing a new building or site feature that is out of scale or of an otherwise inappropriate design.

Introducing a new landscape feature, including plant material, that is visually incompatible with the site, or that alters or destroys the historic site patterns or vistas.

Locating any new construction on the building site where important landscape features will be damaged or destroyed, for example, removing a lawn and walkway and installing a parking lot.

Placing parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or to important landscape features.

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

### **SETTING**

#### *Recommended*

Identifying, retaining, and preserving building and landscape features which are important in defining the historic character of the setting.

Retaining the historic relationship between buildings and landscape features of the setting.

Designing required new parking so that it is as unobtrusive as possible, thus minimizing the effect on the historic character of the setting. "Shared" parking should also be planned as that several businesses can utilize one parking area as opposed to introducing random, multiple lots.

#### *Not Recommended*

Removing or radically changing those features of the setting which are important in defining the historic character.

Destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new street or parking.

Placing parking facilities directly adjacent to historic buildings which cause damage to historic landscape features, including removal of plant material, relocation of paths and walkways, or blocking of alleys.

#### ***FINDINGS/RECOMMENDATIONS***

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The property at 1210 W. Richmond Ave. is a one-story residential structure built in 1985 according to TAD records. It is not a contributing structure in the Fairmount/Southside Historic District. The applicant is requesting to retain a recently installed concrete front yard, add a 6 ft. walkway, and add a 2'-0" x 4'-0" flowerbed to the subject area.

The house originally had a ribbon driveway where the new, paved driveway exists. There was also paved walkway from the sidewalk to the front entrance of the house, which is consistent with driveways, front yards, and paving standards along the streetscape and within Fairmount. The landscaping found between the house and street is a character defining visual and spatial feature within Fairmount and along this block of W. Richmond Street. Outdoor spaces such as front yards act as transitional space between the public sidewalk and the street and the privacy one's home within Fairmount. This landscape feature defines the historic character of the setting.

The Secretary of the Interior's Standards for the Treatment of Historic Properties recommend that landscape features be identified, retained, and preserved. The Standards do not recommend destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new street or parking. The recently-installed concrete front yard and the proposed work are both inconsistent with the Fairmount Design Standards and Guidelines, which state that in no instance shall the front yard of any lot be paved or graveled (except for a driveway or walkways). The paved front yard and the proposed work are also inconsistent with the federal Standards.

While the paved driveway on the western edge of the front façade would not have an adverse effect on the district, Staff believes that the paved addition in front of the stairs does have a significant adverse effect on the character and appearance of the streetscape. The addition of another flowerbed would still leave a significant area of concrete within the front yard which does not resemble a walkway.

Staff recommends the following motion:

**That the request to retain a recently installed concrete front yard, add a 6 ft. walkway, and add a 2'-0" x 4'-0" flowerbed to the subject area be denied.**

## Supplemental Information



Aerial



Fig. 1 – Original ribbon driveway and walkway (2014)





Fig. 2 – Recently installed driveway and paved front yard



Fig. 3 – Front Façade





Fig. 4 – W. Richmond Streetscape, looking east



Fig. 5 – Neighbor's garage, looking NW

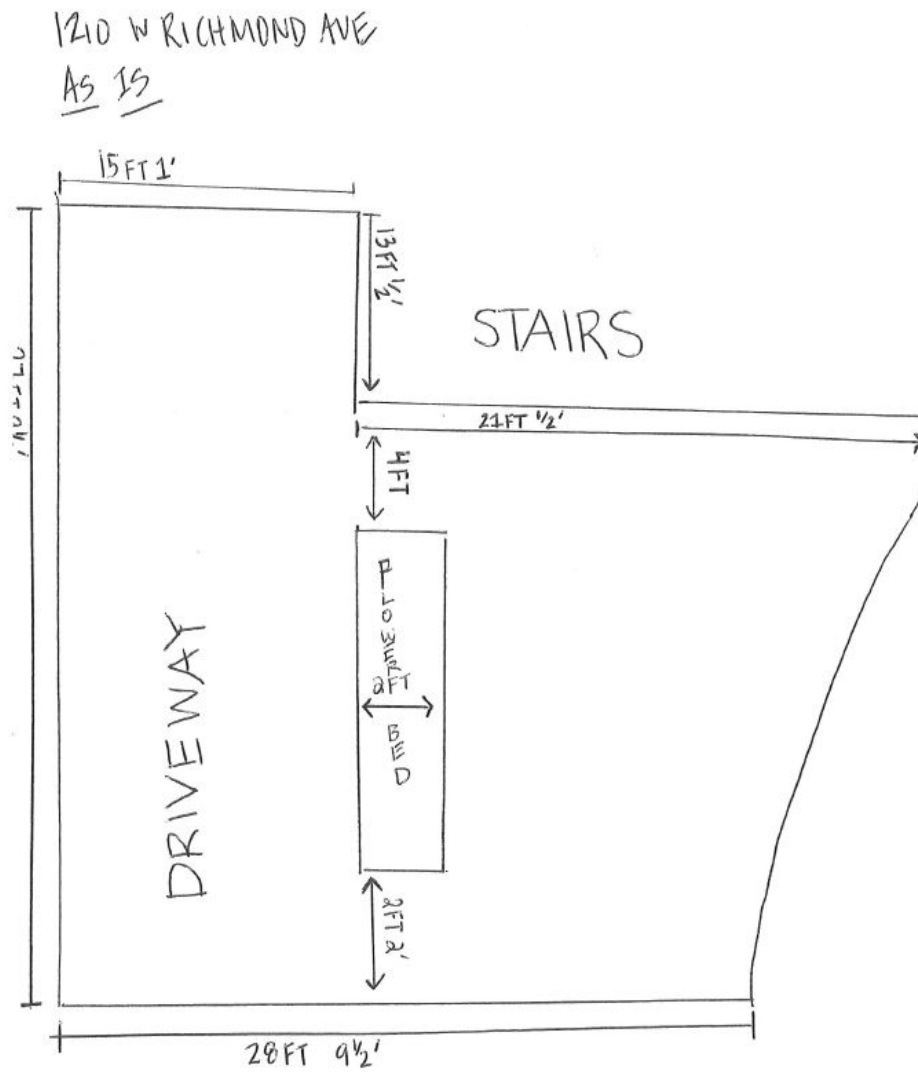


Fig. 6 – Existing Site plan

1210 W RICHMOND AVE  
MODIFY

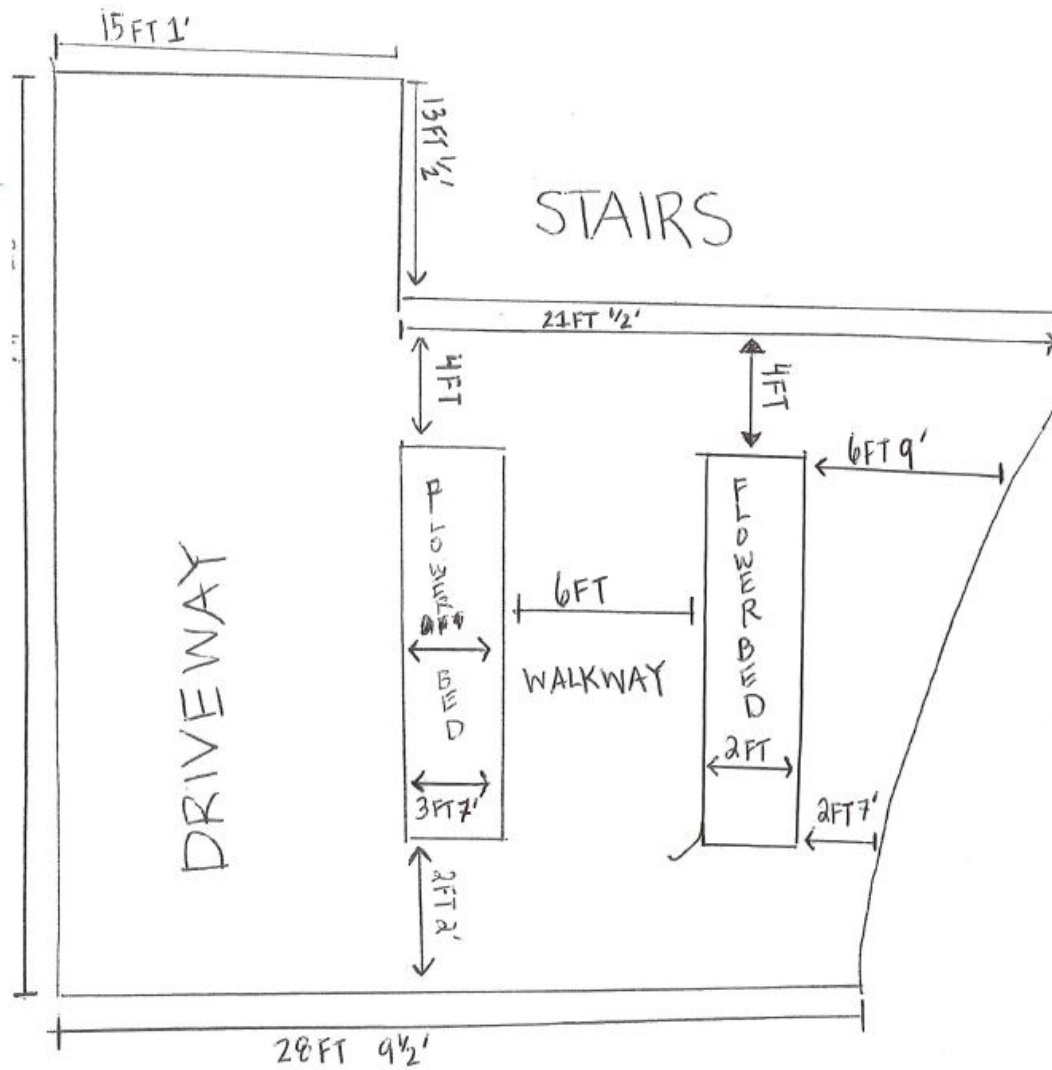


Fig. 7 – Proposed Site Plan Modifications

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**


---

<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Pathway Properties L.D.
<b>LOCATION</b>	805 W. Baltimore Avenue
<b>ZONING/ USE (S)</b>	B/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount

**ANALYSIS OF PROPOSED WORK****CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to construct a second-story addition and rehabilitate the exterior of the primary structure.

**APPLICABLE FAIRMOUNT DESIGN GUIDELINES****SECTION 4 – DOORS AND WINDOWS**

1. *Original windows, doors, transoms, side lights, and trim shall be repaired rather than replaced.*
2. *When necessary, replacement windows, doors, transoms, side lights, and trim shall match existing in size, shape, configuration, type, operation, muntin and mullion pattern, dimensions, profiles and detailing.*

**SECTION 5 – STANDARDS AND GUIDELINES FOR NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS AND RELOCATION**

1. *The height and overall scale of new construction and additions shall be consistent with that of adjacent structures. In residential areas, the height and scale of new construction should generally not exceed that of adjacent structures by more than one story.*
8. *Blank walls on residential structures and street elevations of commercial structures are prohibited.*

9. *Window and door openings shall use similar proportion of wall to window space as typically found in the district.*
14. *Additional stories shall be set back from the roof edge to ensure that the historic building's proportions and profile are not radically changed.*
15. *The size, scale, massing, and proportions of the new addition shall be compatible with the historic building.*
16. *Additions shall be differentiated but compatible, so that the new work does not appear to be part of the historic building; the character of the historic resource should be identifiable after the new addition is constructed.*

## **SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## **STANDARDS FOR REHABILITATION & GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS**

### **Building Exterior – Wood**

#### *Recommended*

Identifying, retaining, and preserving wood features that are important in defining the overall historic character of the building such as siding, cornices, brackets, window architraves, and doorway pediments; and their paints, finishes, and colors.

Evaluating the overall condition of the wood to determine whether more than protection and maintenance are required, that is, if repairs to wood features will be necessary.

Repairing wood features by patching, piecing-in, consolidating, or otherwise reinforcing the wood using recognized preservation methods. Repair may also include the limited

replacement in kind--or with compatible substitute material--of those extensively deteriorated or missing parts of features where there are surviving prototypes such as brackets, molding, or sections of siding.

Replacing in kind an entire wood feature that is too deteriorated to repair--if the overall form and detailing are still evident--using the physical evidence as a model to reproduce the feature.

*Not Recommended*

Removing or radically changing wood features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Failing to undertake adequate measures to assure the protection of wood features.

Replacing an entire wood feature such as a cornice or wall when repair of the wood and limited replacement of deteriorated or missing parts are appropriate.

**Building Exterior – Masonry**

*Recommended*

Identifying, retaining, and preserving masonry features that are important in defining the overall historic character of the building such as walls, brackets, railings, cornices, window architraves, door pediments, steps, and columns; and details such as tooling and bonding patterns, coatings, and color.

Evaluating the overall condition of the masonry to determine whether more than protection and maintenance are required, that is, if repairs to the masonry features will be necessary.

Repairing masonry walls and other masonry features by repointing the mortar joints where there is evidence of deterioration such as disintegrating mortar, cracks in mortar joints, loose bricks, damp walls, or damaged plasterwork.

*Not Recommended*

Removing or radically changing masonry features which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Failing to undertake adequate measures to assure the protection of masonry features.

Removing a masonry feature that is unrepairable and not replacing it; or replacing it with a new feature that does not convey the same visual appearance

**Building Site**

*Recommended*

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserves the historic relationship between the building or buildings and the landscape.

*Not Recommended*

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

**Setting**

*Recommended*

Identifying, retaining, and preserving building and landscape features which are important in defining the historic character of the setting.

Protecting and maintaining historic masonry, wood, architectural metals, stone, and plant features through appropriate treatments such as cleaning, rust removal, limited paint removal, and reapplication of protective coating systems; and pruning and vegetation management.

Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the setting in terms of size, scale design, material, color, and texture.

*Not Recommended*

Removing or radically changing those features of the setting which are important in defining the historic character.

Introducing a new building or landscape feature that is out of scale or otherwise inappropriate to the setting's historic character.

Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

**New Additions to Historic Buildings**

*Recommended*

Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Designing additional stories when required for the new use that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

*Not Recommended*

Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Using the same wall plane, roof line, cornice height, materials, siding lap or window type to make additions appear to be a part of the historic building.

Constructing additional stories so that the historic appearance of the building is radically changed.

### ***FINDINGS/RECOMMENDATIONS***

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The structure located at 805 W. Baltimore Avenue is a single story Craftsman Bungalow with a front-facing moderately-pitched hipped roof pierced by a smaller gable with a full-front verandah on square masonry columns. TAD lists the construction date as 1930. It is a contributing structure in the Fairmount/Southside Historic District.

The height and overall scale of the new addition is not consistent with the existing structure. Craftsman Bungalow style buildings generally do not have a full hipped roof on the front façade. The second story exterior walls of the proposed addition use the same wall plane as the original structure and is not set back from the roof edge. Overall, the size, scale, massing and proportions of the new addition are inconsistent with the Fairmount Design Standards and Guidelines and the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings, New Additions to Historic Buildings. These federal Guidelines recommend constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed. The federal Guidelines also recommend locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building. The proposed 2<sup>nd</sup>-floor addition is inconsistent with both of these recommendations. The positioning of the addition will not have an adverse impact on the setting of the original residence because the applicant has amended the drawings to set the addition back from the apex of the roof.

The applicant is also proposing to rehabilitate the exterior of the historic structure. This includes repairing the existing 117-wood siding or replacing it in-kind and replacing existing wood windows in-kind. When Staff visited the site and inspected the existing windows, several of the windows were in repairable condition. The Fairmount Design Standards and Guidelines state that original windows, doors, transoms, side lights, and trim shall be repaired rather than replaced.

Staff recommended the following motion:



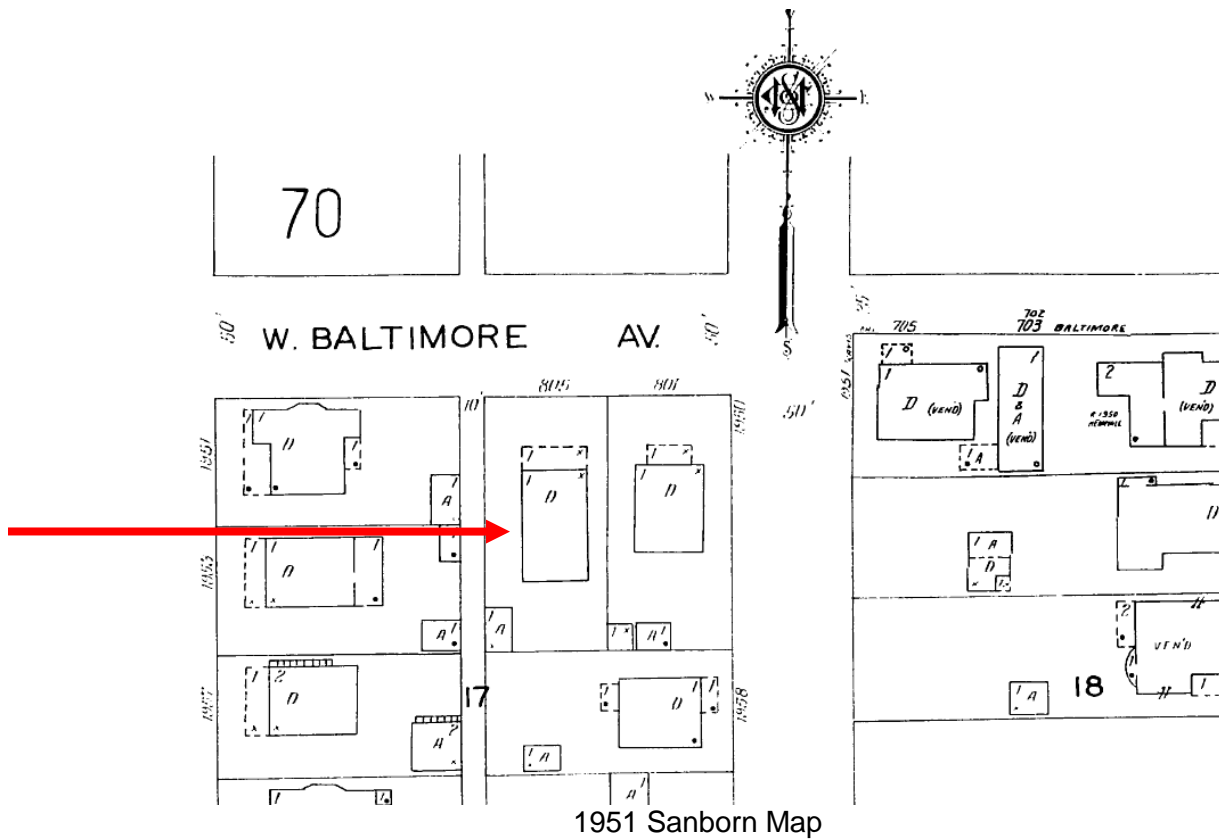
**That the Application for a Certificate of Appropriateness to construct a second-story addition and rehabilitate the exterior of the primary structure be approved subject to the following conditions:**

- 1. That the applicant set back the east and west walls of the proposed addition at least 1' on each side from the existing wall plane of the original structure; and**
- 2. That a preservation-based window condition assessment be provided and that the applicant depict fenestration patterns on all facades consistent with the Fairmount Design Standards and Guidelines ; and**
- 3. That the window condition assessment and updated annotated drawings that are informed by the assessment be submitted to staff prior to the issuance of a Certificate of Appropriateness**

## SUPPLEMENTAL INFORMATION



Aerial



1951 Sanborn Map



Fig. 1 – Front façade



Fig. 2 – West façade





Fig. 3 – Looking NE



Fig. 4 – Rear façade





Fig. 5 – East façade



Fig. 6 – Window detail, west façade



Fig. 7 – Window detail, east façade

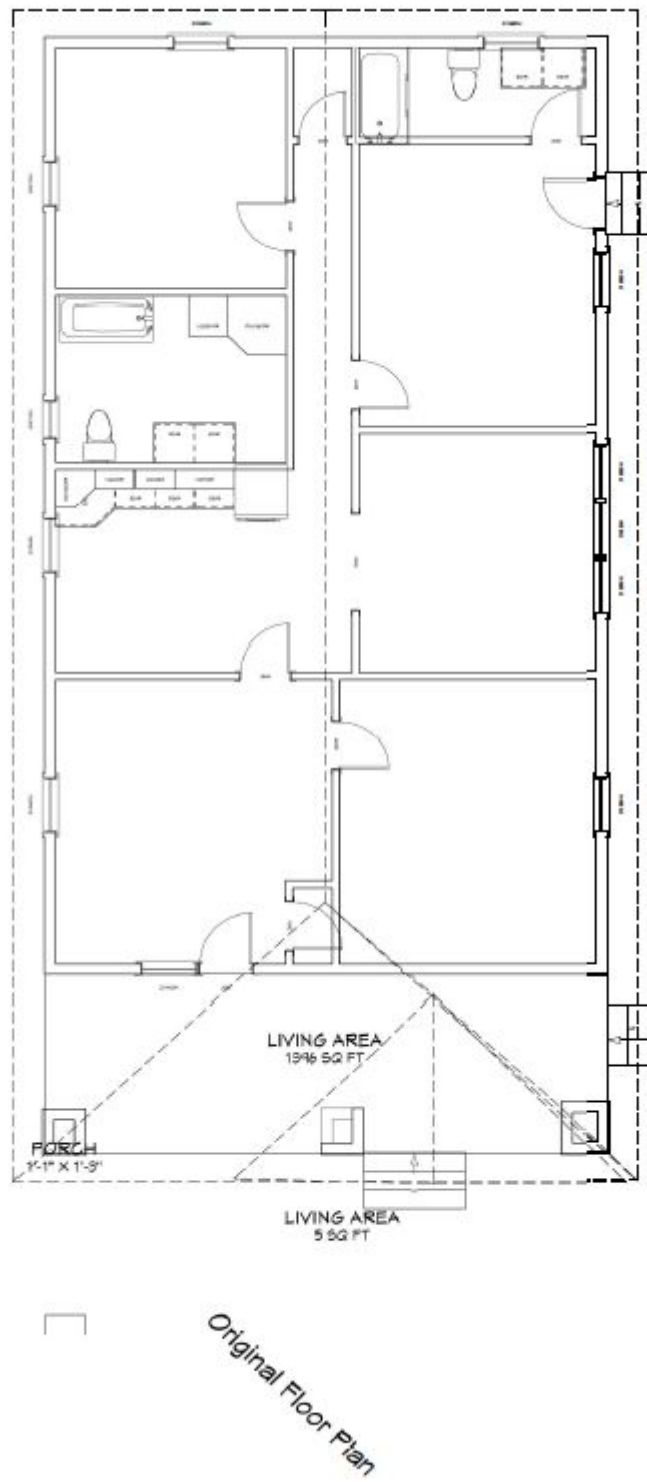


Fig. 8 – original floor plan

The floor plan for the second floor includes the following rooms and dimensions:

- GAMEROOM:** 15'-11" x 17'-6 3/4". Slope to 9' CLG.
- BATH:** 6'-7 1/2" x 9'-9 3/4". Includes a bathtub, toilet, and sink. 8' CLG.
- BEDROOM (Top Right):** 11'-3 3/4" x 12'-0". Slope to 9' CLG.
- BEDROOM (Bottom Right):** 11'-3 3/4" x 14'-1". Slope to 9' CLG.
- Staircase:** Located between the Gameroom and the Bath, with a width of 6'-9".
- Overall Dimensions:** The plan is bounded by 28'-4 1/2" on the top and 28'-9 1/2" on the bottom. The left side has a vertical dimension of 28'-3".

13





Fig. 11 – Existing front elevation

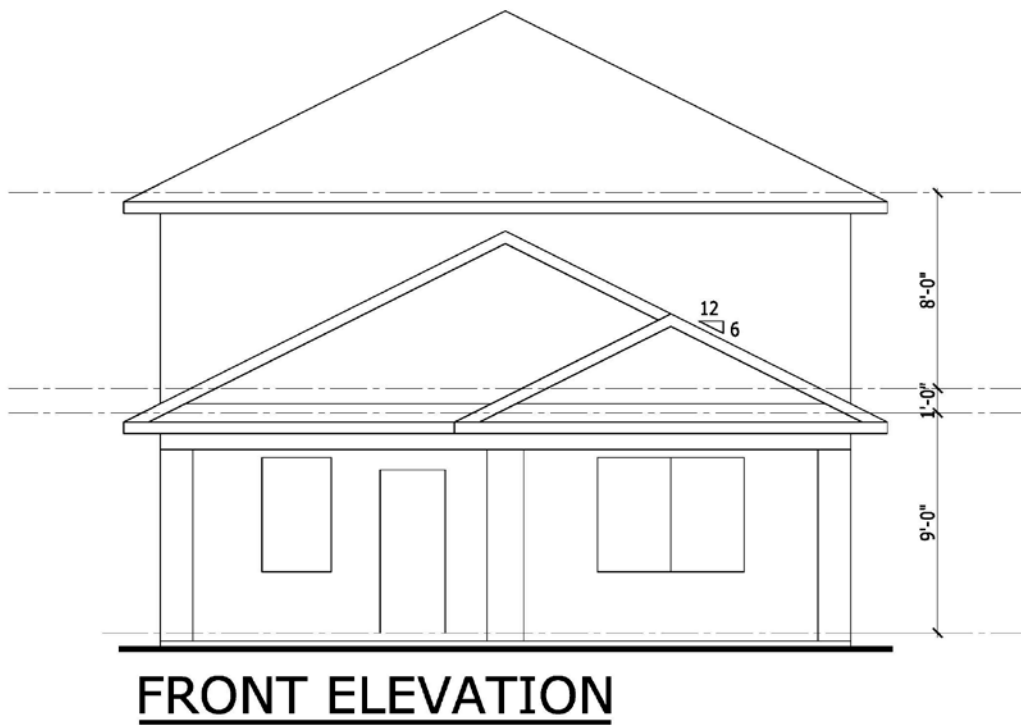


Fig. 12 – Proposed front elevation, new addition



Right view

Fig. 13 – Existing west elevation

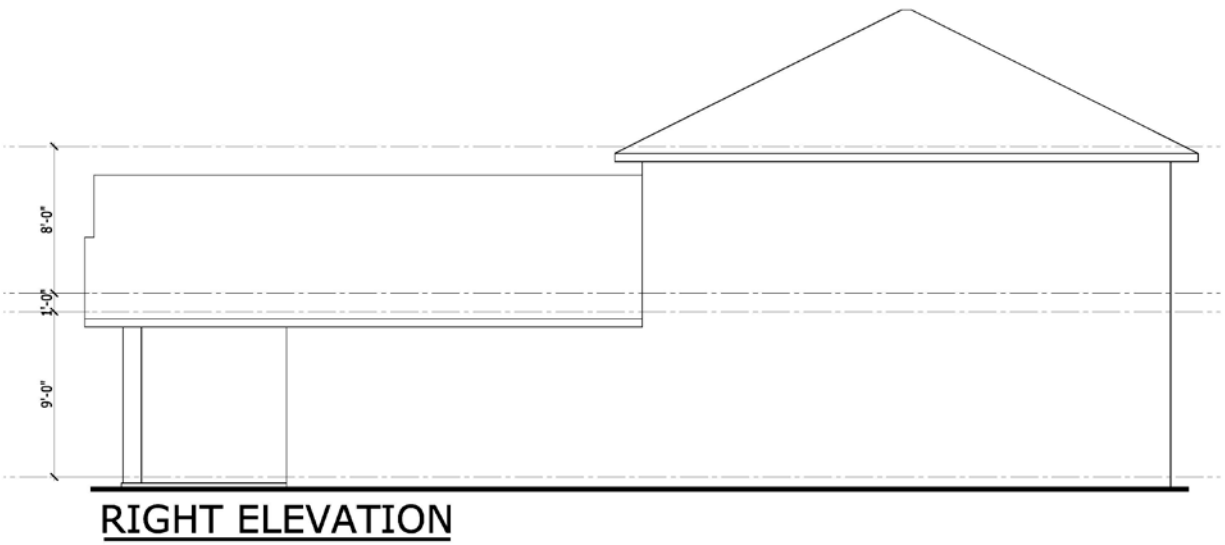
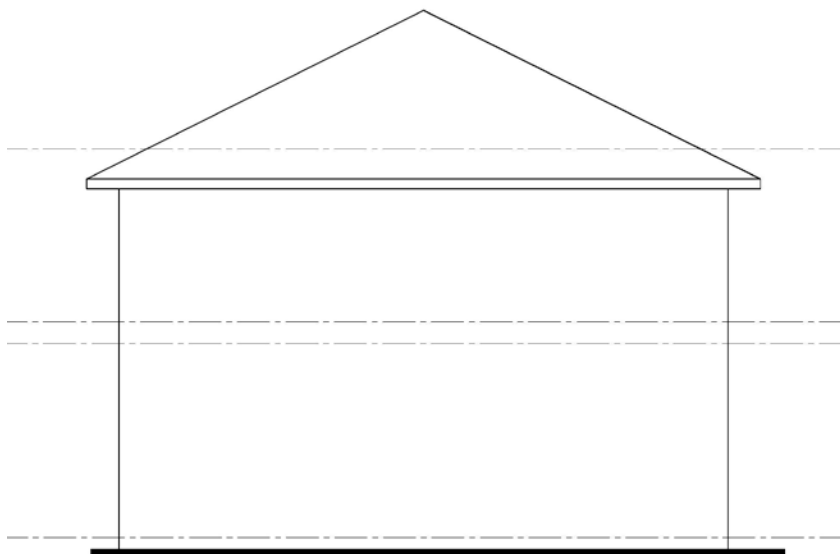


Fig. 14 – Proposed west elevation/new addition



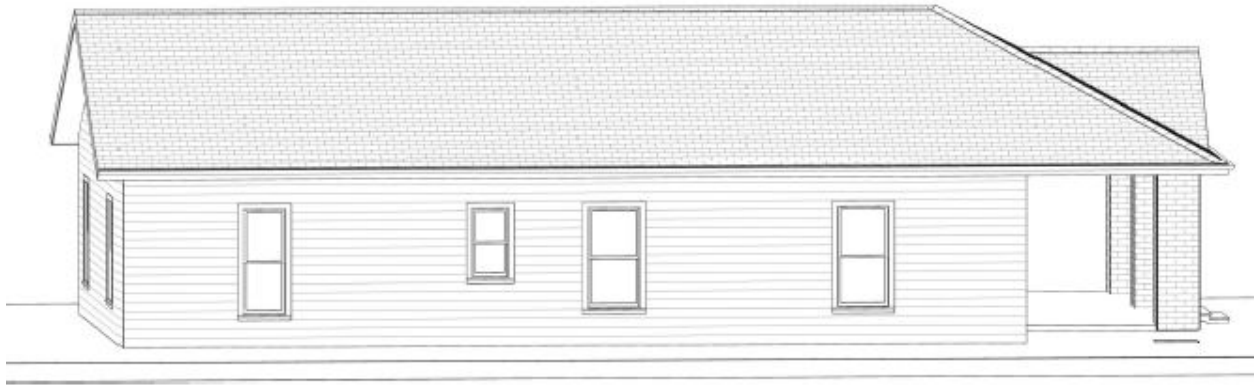
Rear View

Figure 15 – Existing rear elevation



REAR ELEVATION

Fig. 15 – Proposed rear elevation



Left View

Fig. 16 – Existing east elevation

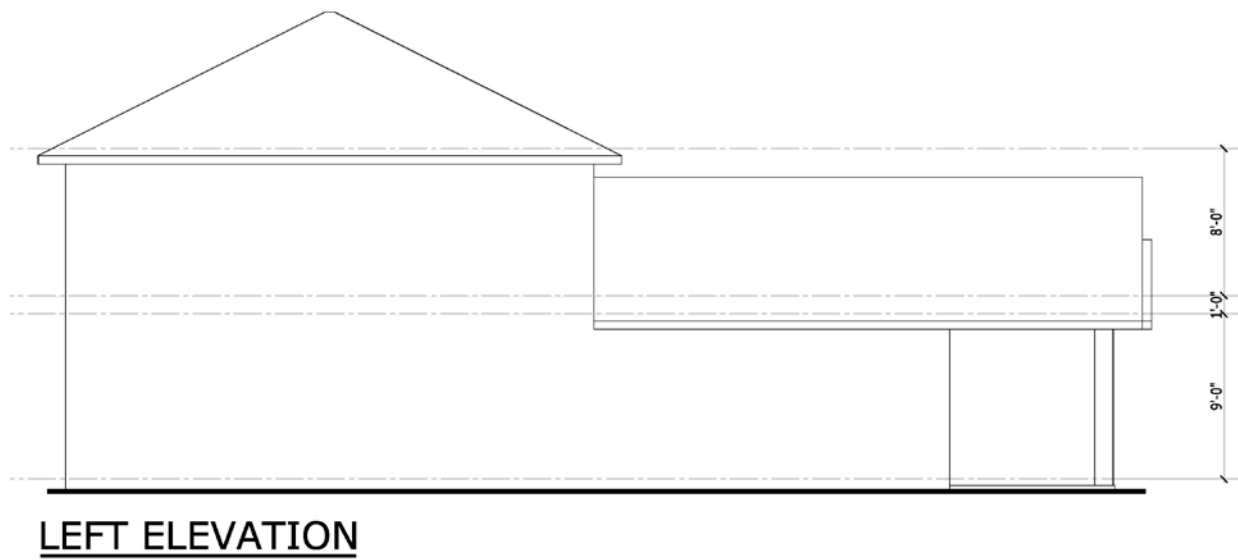


Fig. 17 – Proposed east elevation massing

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**

---

<b>REQUEST</b>	Historic Site Tax Exemption –Partial
<b>APPLICANT/AGENT</b>	Stephanie Ladner
<b>LOCATION</b>	1908 S. Henderson Street
<b>ZONING/ USE (S)</b>	B/HC
<b>NEIGHBORHOOD ASSOC.</b>	Fairmount/Southside

**ANALYSIS OF EXEMPTION**

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**HISTORIC SITE TAX EXEMPTION (2016) VALUES**

Land assessed value	\$62,500
Improvements assessed value	\$109,143
Required 30% expenditure	\$32,742
Estimated expenditures	\$36,754

**FINDINGS/ RECOMMENDATIONS**

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The structure at 1908 S. Henderson St. is a single-story Folk Victorian residence. Tarrant County Appraisal District lists the structure's construction date as 1910. It is a contributing structure in the Fairmount/Southside Historic District. The work already undertaken in March, 2014 includes installing a new electrical system; updating the plumbing system; installing a new HVAC system; and the rehabilitation of the interior of the structure.

The request meets the requirements of the City of Fort Worth Zoning Ordinance. Staff recommends approval of the Historic Site Tax Exemption –Partial

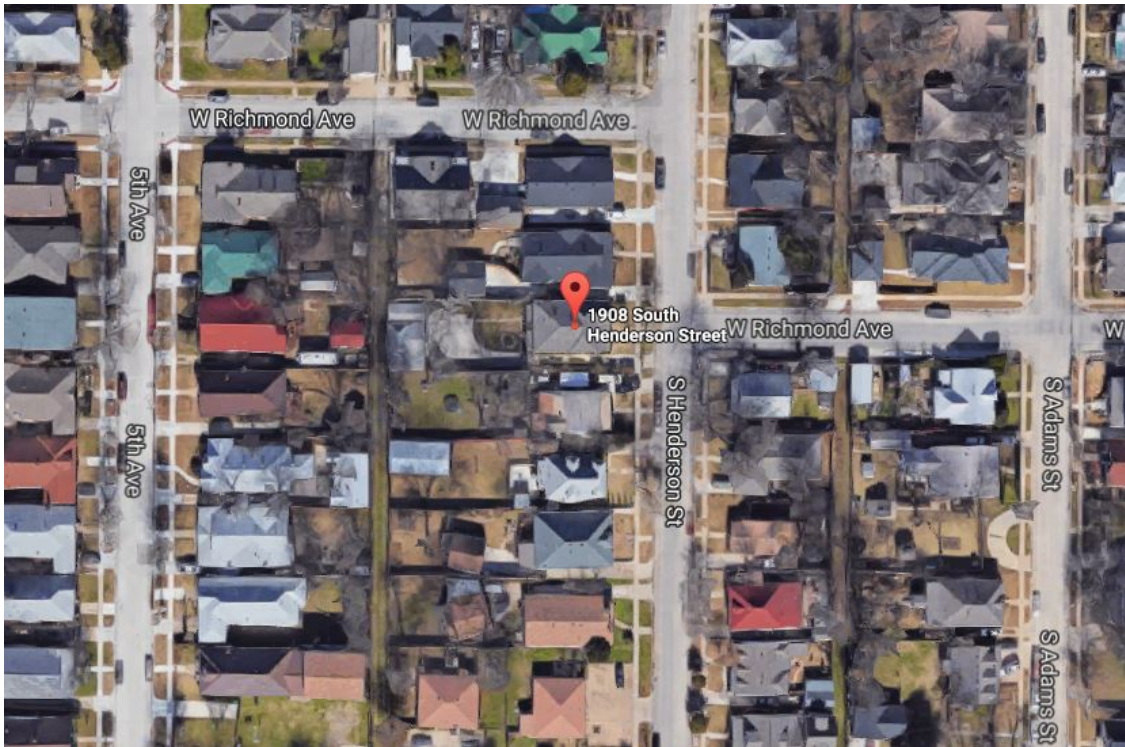


Fig. 1 - Aerial

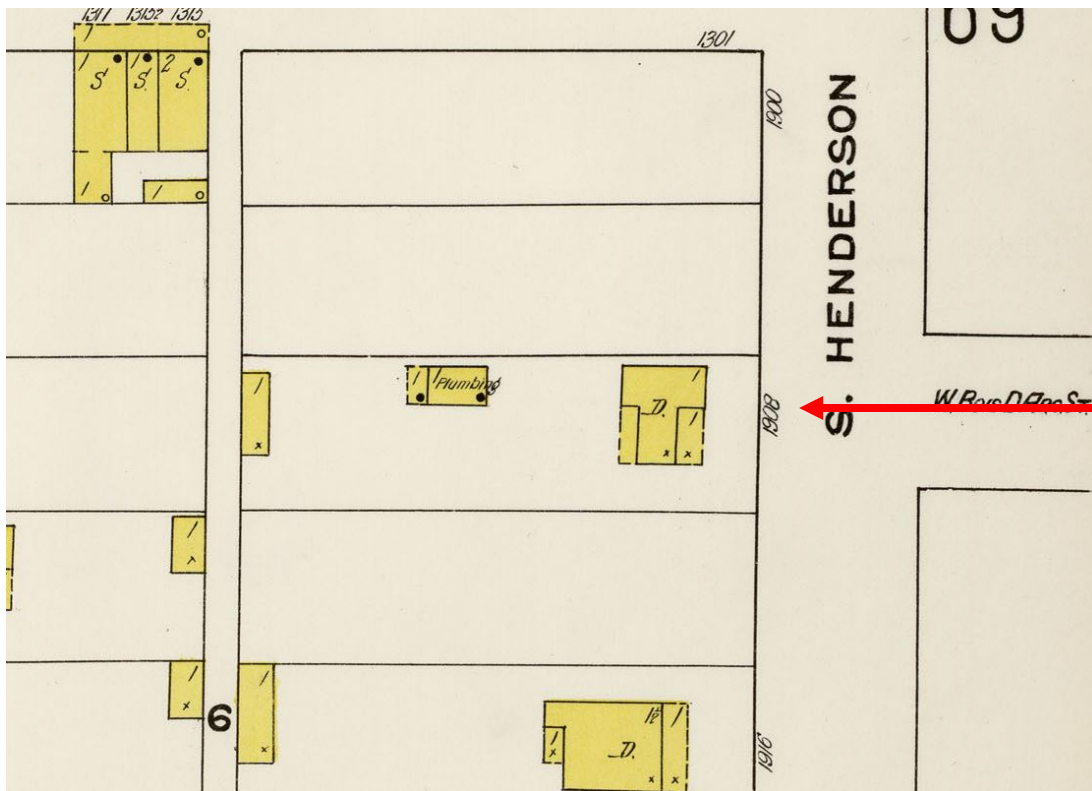


Fig. 2 - 1910 Sanborn Map





**Fig. 3 – Looking NW**



**Fig. 4 - Looking SW**



Fig. 5 – Interior hallway, before rehabilitation





Fig. 6 – Interior Hallway, post-rehabilitation



Fig. 7 – Interior room, pre-rehabilitation



Fig. 8 – Interior room, during rehabilitation



Fig. 9 – Interior walls, pre-rehabilitation



Fig. 10 – Interior walls, post-rehabilitation



Fig. 11 – Kitchen, pre-rehabilitation





Fig. 12 – Knob & Tube wiring, pre-rehabilitation

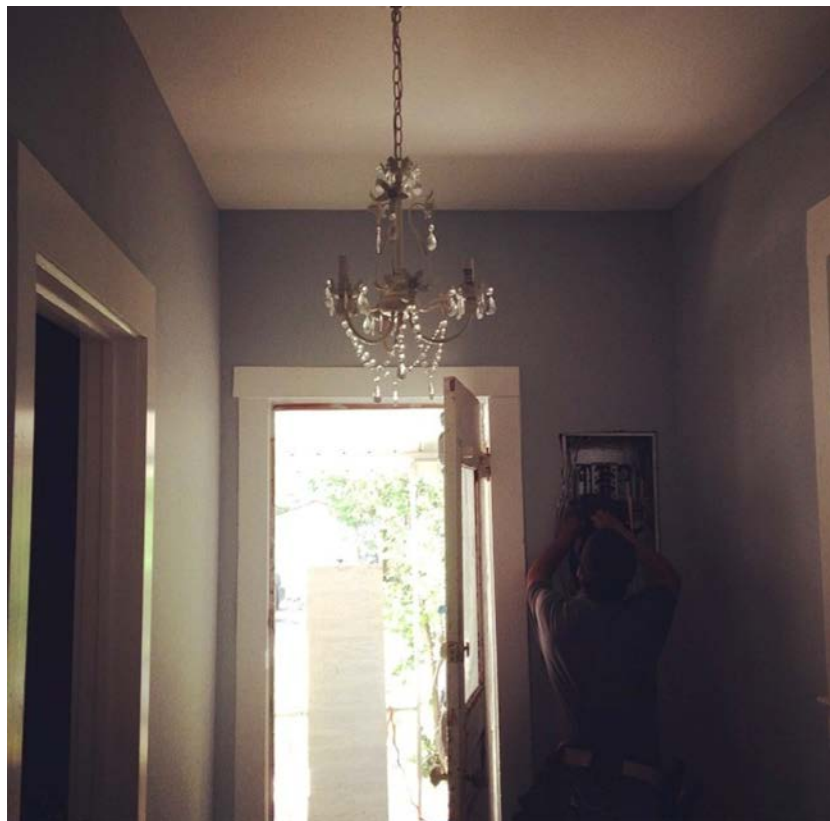


Fig. 13 – New electrical panel



Fig. 14 – Living room, pre-rehabilitation



Fig. 15 – Living room, during rehabilitation



Fig. 16 – Living, post-rehabilitation



Fig. 17 – Refinishing hardwood floors

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**

---

<b>REQUEST</b>	Historic Site Tax Exemption – Verification
<b>APPLICANT/AGENT</b>	Elizabeth Lunday
<b>LOCATION</b>	2217 Fairmount Avenue
<b>ZONING/ USE (S)</b>	B/HC
<b>NEIGHBORHOOD ASSOC.</b>	Fairmount/Southside

**ANALYSIS OF EXEMPTION**

---

**HISTORIC SITE TAX EXEMPTION (2013) VALUES**

Land assessed value	\$50,000
Improvements assessed value	\$106,200
Required 30% expenditure	\$31,860
Actual expenditures	\$87,142

**FINDINGS/ RECOMMENDATIONS**

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The structure at 2217 Fairmount Avenue is a one-story Craftsman Bungalow. This structure was built c.1930 and is a contributing structure to the Mistletoe Heights Historic District. The work included upgrading the electrical system; installing a fence; upgrading the plumbing system; repairing the foundation; interior and exterior paint; and a new rear addition.

In accordance with the City of Fort Worth Comprehensive Zoning Ordinance, *Verification of completion of project*, the following documentation has been provided to the Historic Preservation Officer:

- a. Sworn statement of completion of the project;
- b. Copies of all receipts for the costs of the project;
- c. Documentation that all required inspections of the project have been performed by the Planning and Development Department;
- d. Proof that costs are eligible
- e. Proof that the cost of the rehabilitation equals or exceeds the greatest of 30% of the assessed value of the structure prior to rehabilitation or \$3,000;

Staff have investigated the property on June 23<sup>rd</sup>, 2017 and verified that the scope of eligible work has been completed in accordance with the “Partial” application considered by the HCLC on April 8<sup>th</sup>, 2013.

**The request meets the requirements of the City of Fort Worth Zoning Ordinance. Staff recommends approval of the Historic Site Tax Exemption – Verification.**



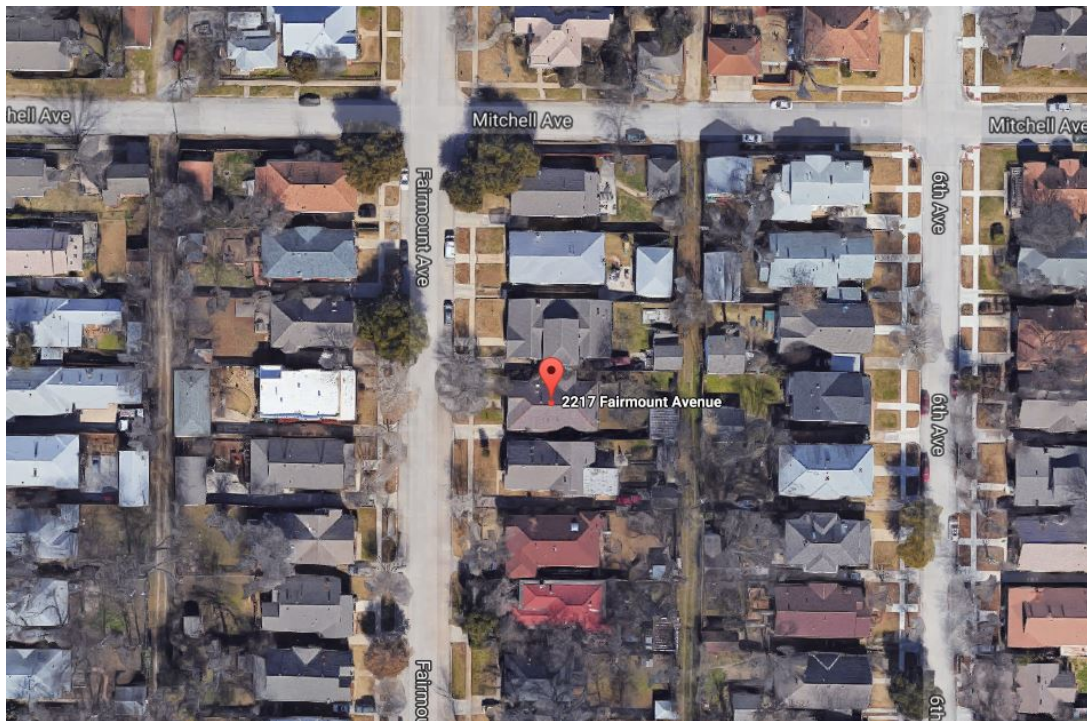


Fig. 1 - Aerial

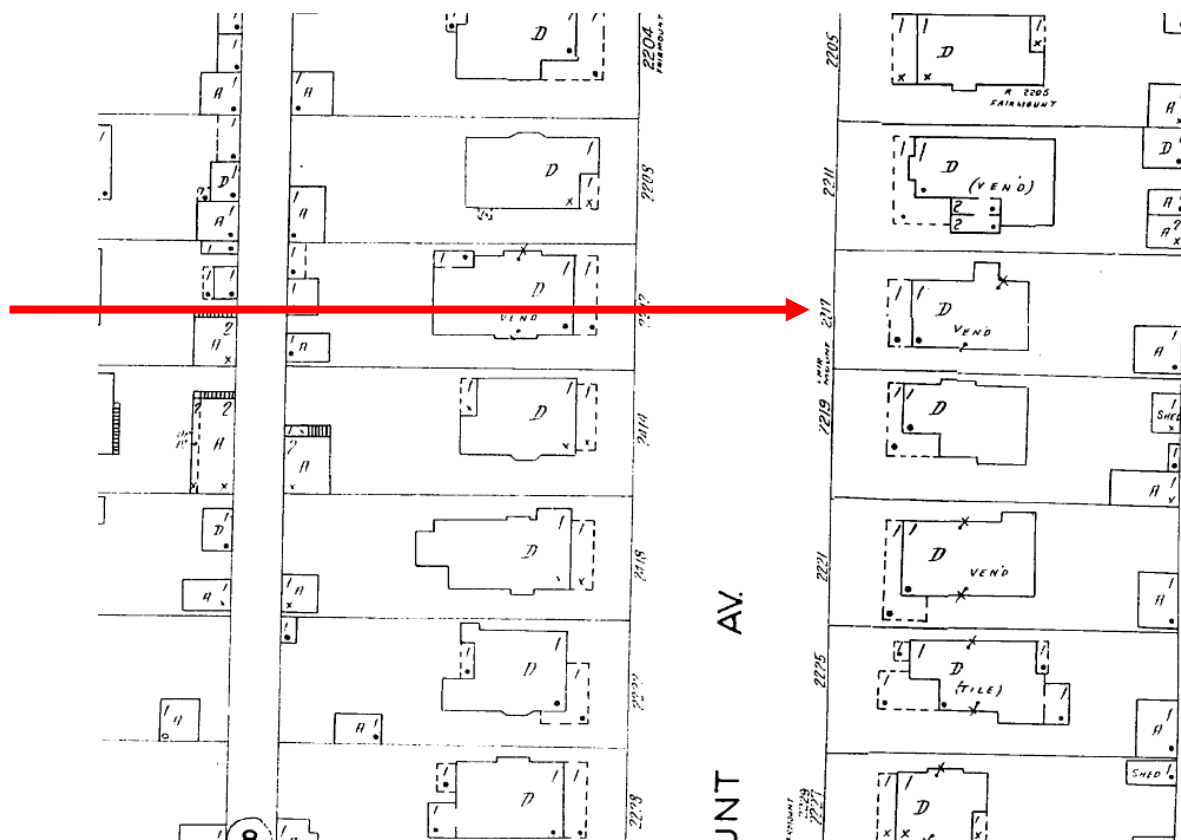


Fig. 2 - 1951 Sanborn Map



Fig. 3 – Looking NE



Fig. 4 – Rear Addition





Fig. 5 – Rear Addition



Fig. 6 – Rotten floor joists in kitchen





Fig. 7 – Foundation for addition



Fig. 8 – Addition during construction



Fig. 9 – Kitchen, post-construction





Fig. 10 – Living room, post construction.

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**


---

<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	6 <sup>th</sup> Avenue Homes/Jason Binzer
<b>LOCATION</b>	1405 S Lake Street
<b>ZONING/ USE (S)</b>	C/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount Southside

**ANALYSIS OF PROPOSED WORK****CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to extend the original hipped roof, construct a rear addition and rehabilitate the exterior.

**APPLICABLE FAIRMOUNT DESIGN STANDARDS****SECTION 5 – STANDARDS AND GUIDELINES FOR NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS AND RELOCATION**

16. Additions shall be differentiated but compatible, so that the new work does not appear to be part of the historic building; the character of the historic resource should be identifiable after the new addition is constructed.

**SECTION 7 – STANDARDS AND GUIDELINES FOR ROOFING**

1. Original roof shape, form, design, eave depth, and other architectural elements shall be maintained.

**APPLICABLE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES**

***Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings***  
**Building Exterior – Roofs**

***Recommended***

Identifying, retaining, and preserving roofs—and their functional and decorative features—that are important in defining the overall historic character of the building. This includes



the roof's shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.

### ***FINDINGS/RECOMMENDATIONS***

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A predominant character-defining feature of the historic bungalow is its simple hipped roof form with a shed-roof lean-to. The "footprint" of the original roof is therefore an important character-defining feature. This includes the four hips, whose returns, provide a specific three-dimensional character to the roof form. The roof extension would be primarily visible from W. Morphy Street.

The proposed addition involves the incorporation of the lean-to, giving it the same hierarchy as the original main roof. The original roof form would therefore be elongated in order to accommodate the existing lean-to. Extending the same roof plane would not differentiate the addition from the original roof form. Incorporating the lean-to makes it appear part of the historic bungalow, which is inconsistent with Sections 5 and 7 of the Fairmount Historic District Standards and Guidelines.

Since Standard 16 in Section 5 and Standard 1 in Section 7 would not be met, Staff recommend **that the Application for a Certificate of Appropriateness to extend the original hipped roof, construct a rear addition and rehabilitate the exterior be approved subject to the following conditions:**

- 1. That the roof extension over the lean-to be designed so as to maintain the original roof shape of the primary hipped roof and that the drawings be amended to satisfy Standard 1, Section 7 – Standards and Guidelines for Roofing, Fairmount Historic District Standards and Guidelines, and submitted to the Planning and Development Department prior to the issuance of a Certificate of Appropriateness.**

SUPPLEMENTAL MATERIAL

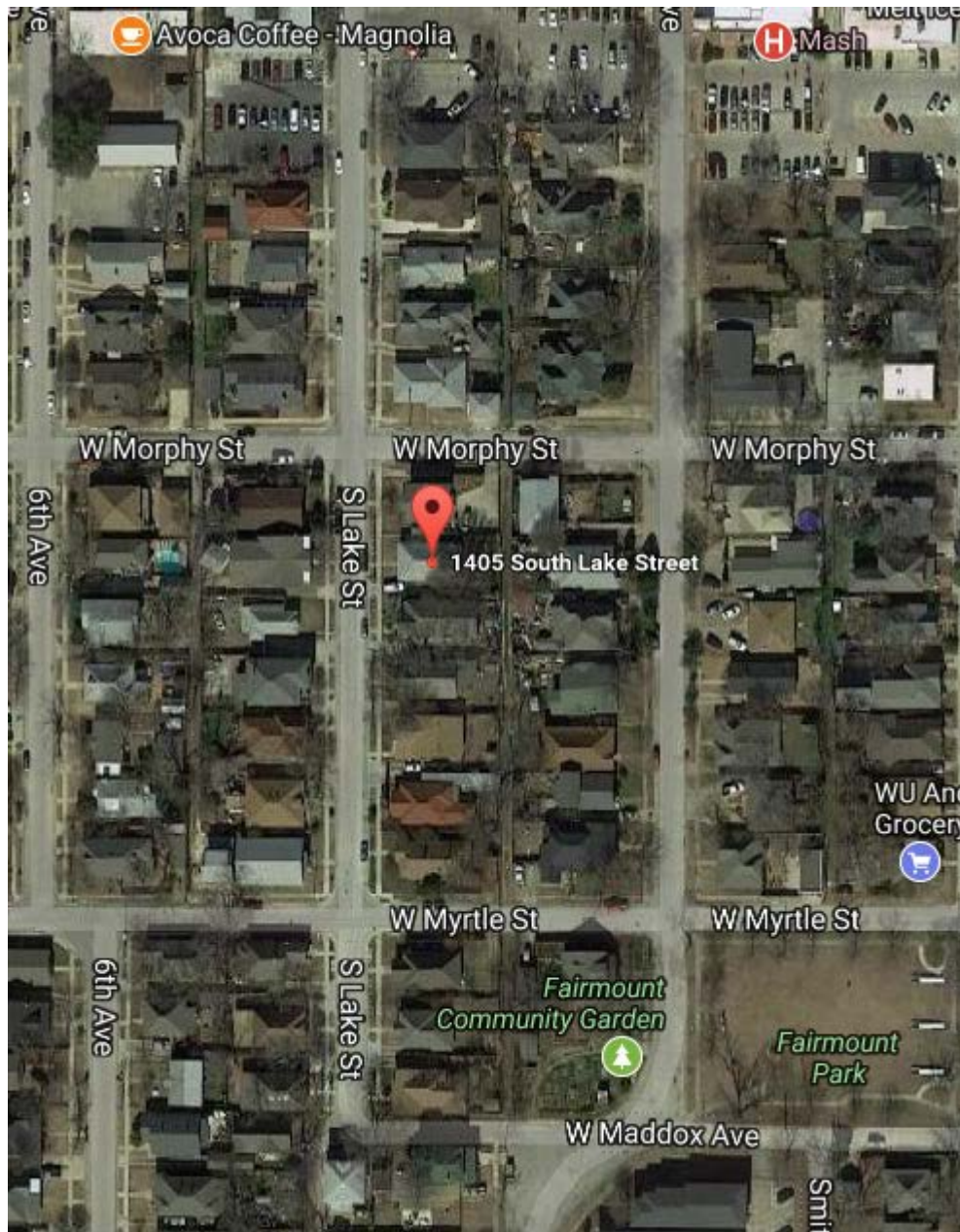


Figure 1. Aerial View





Figure 2. View of the subject property looking east from S. Lake Street



Figure 3. View of the single-story bungalow to the left, from W. Morphy Street

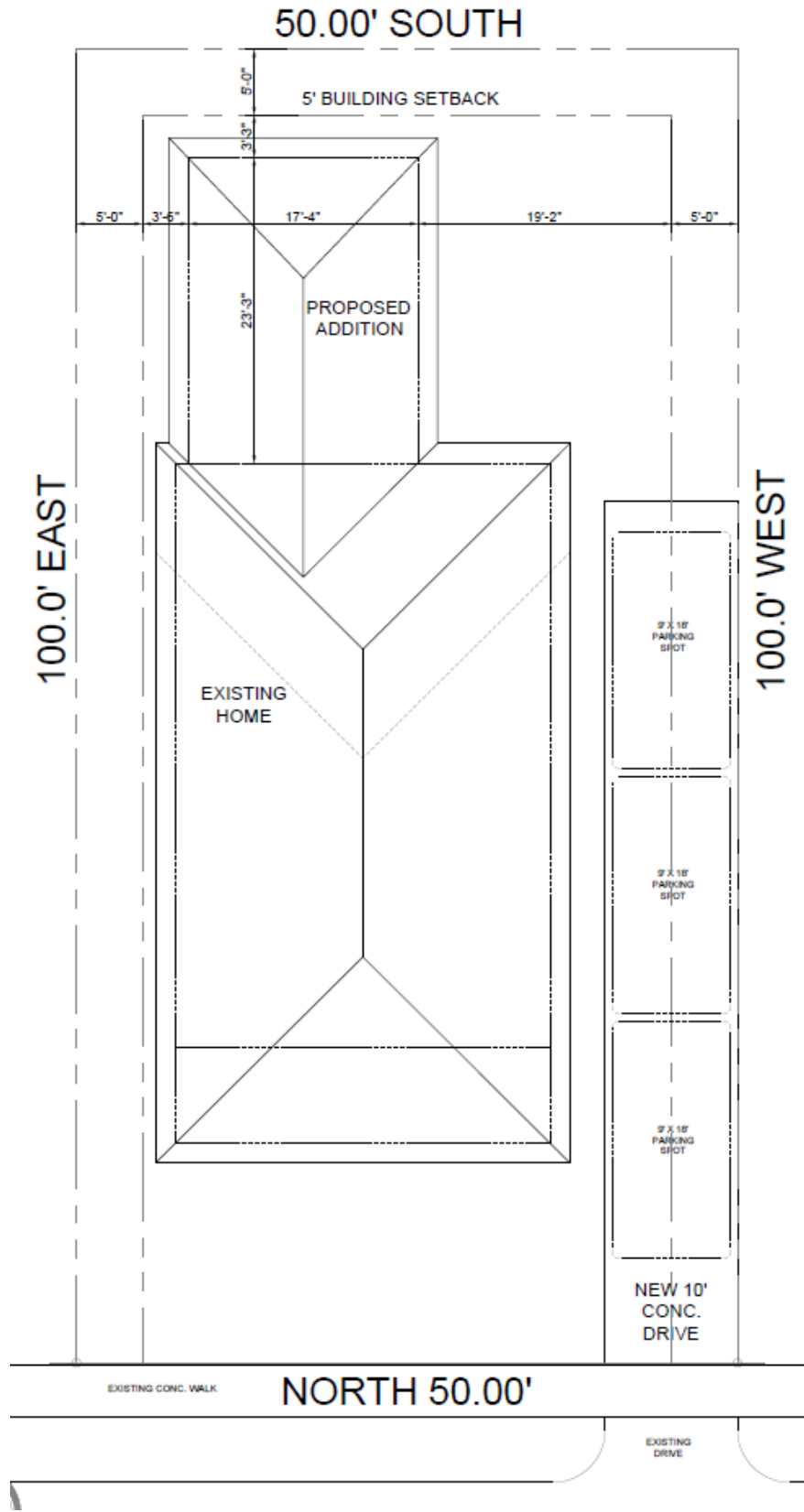


Figure 4. Site plan

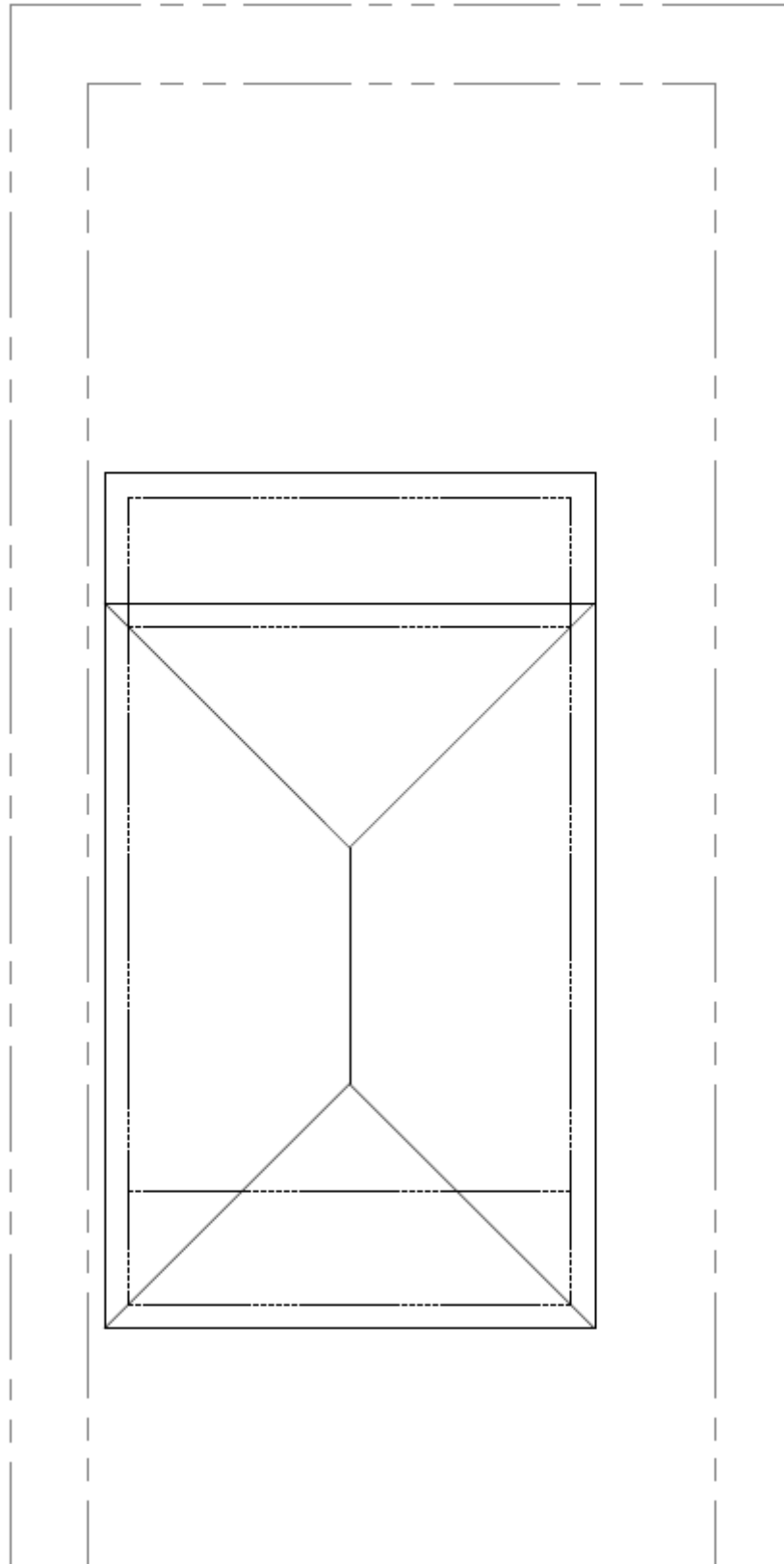


Figure 5. Existing roof plan

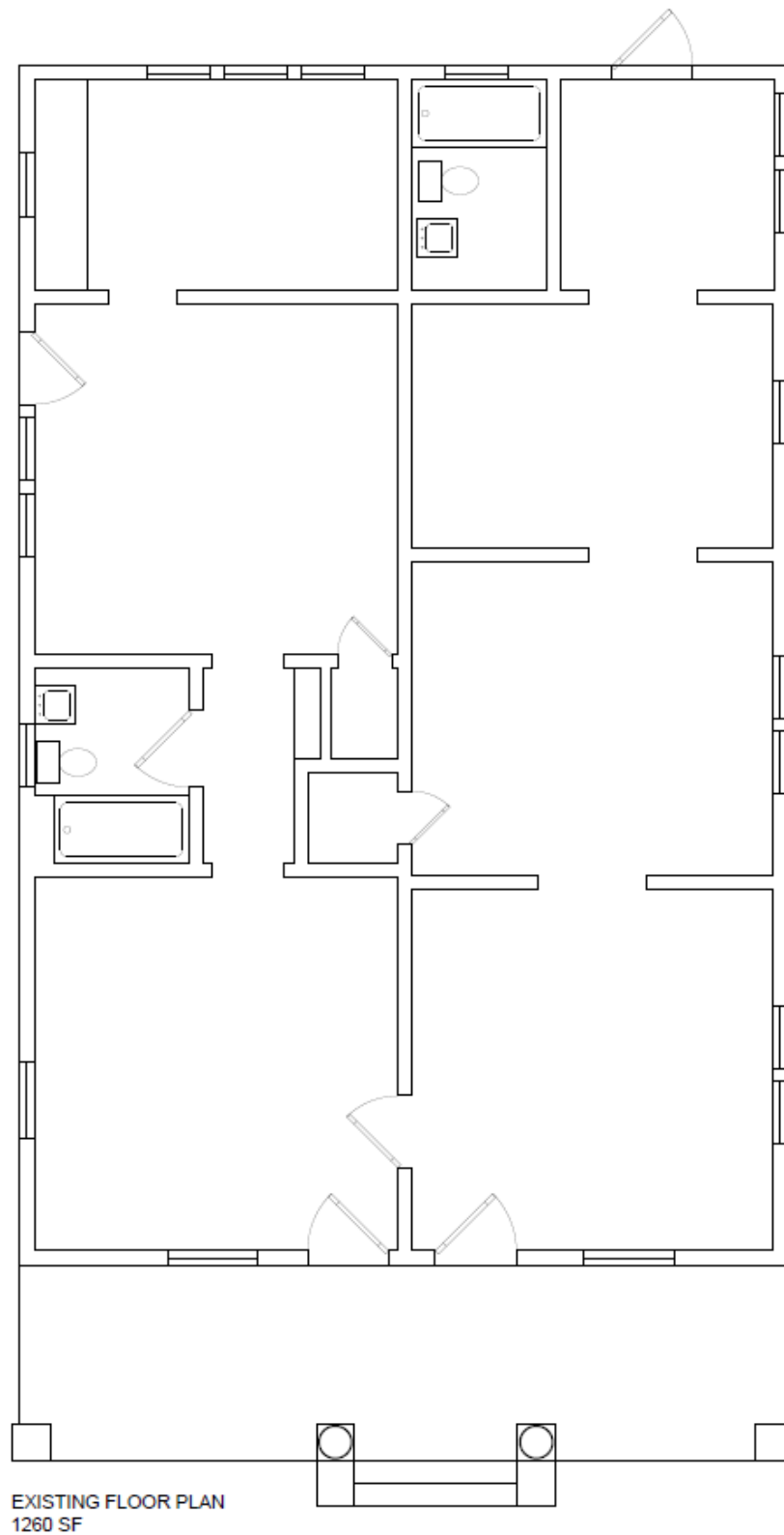


Figure 6. Existing floor plan

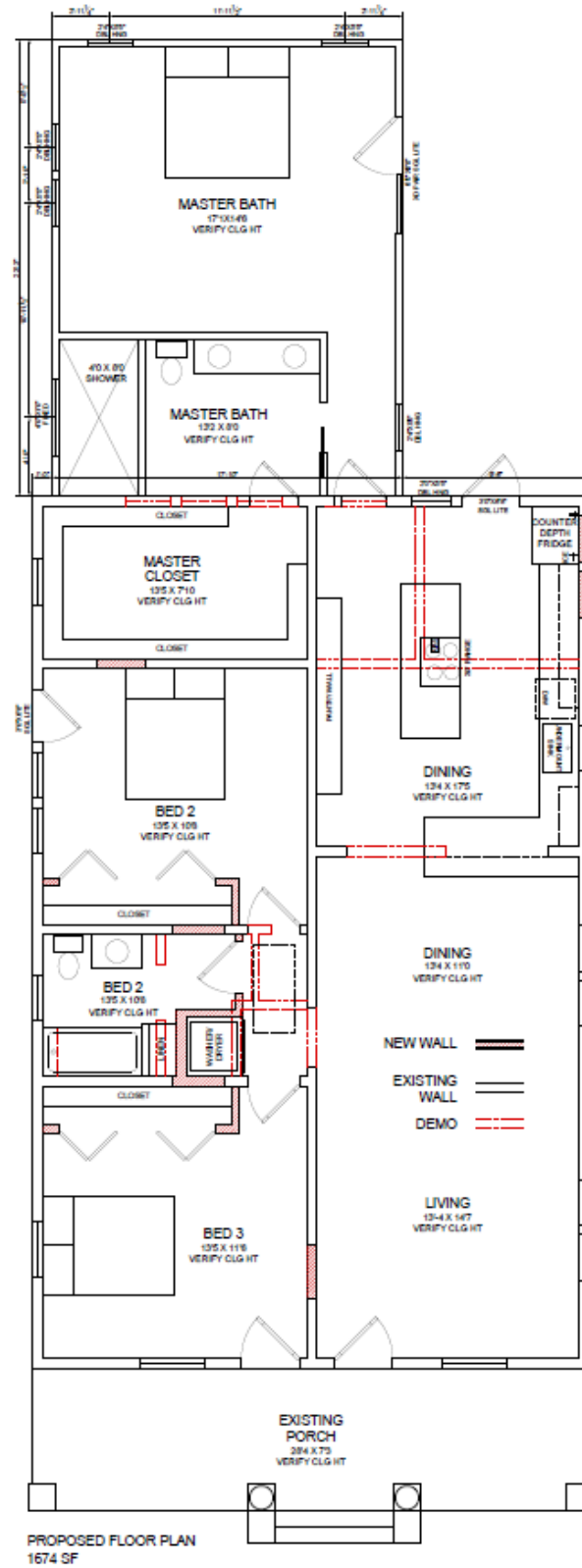


Figure 7. Proposed floor plan



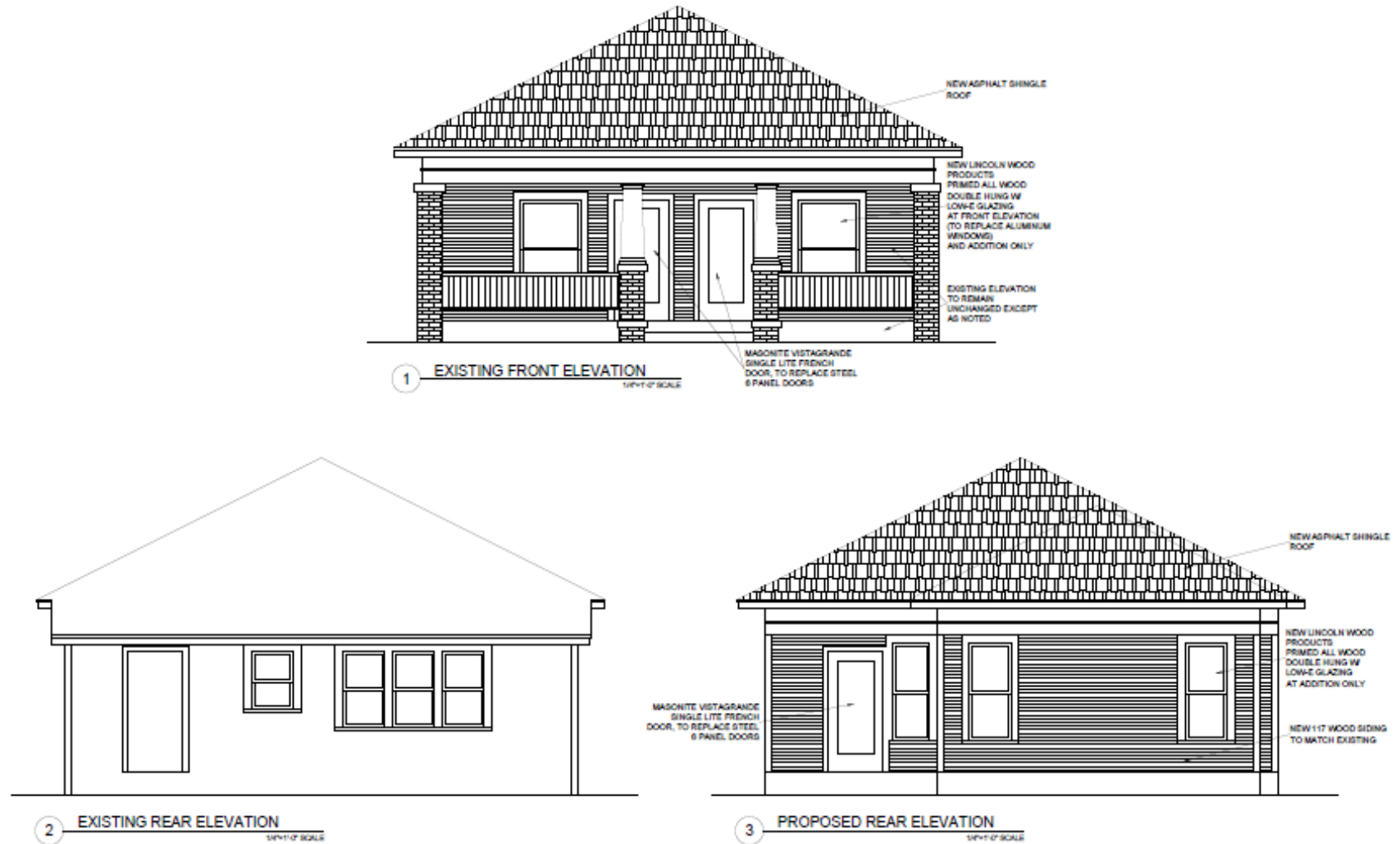


Figure 8. Existing front elevation, rear elevation, and proposed rear elevation

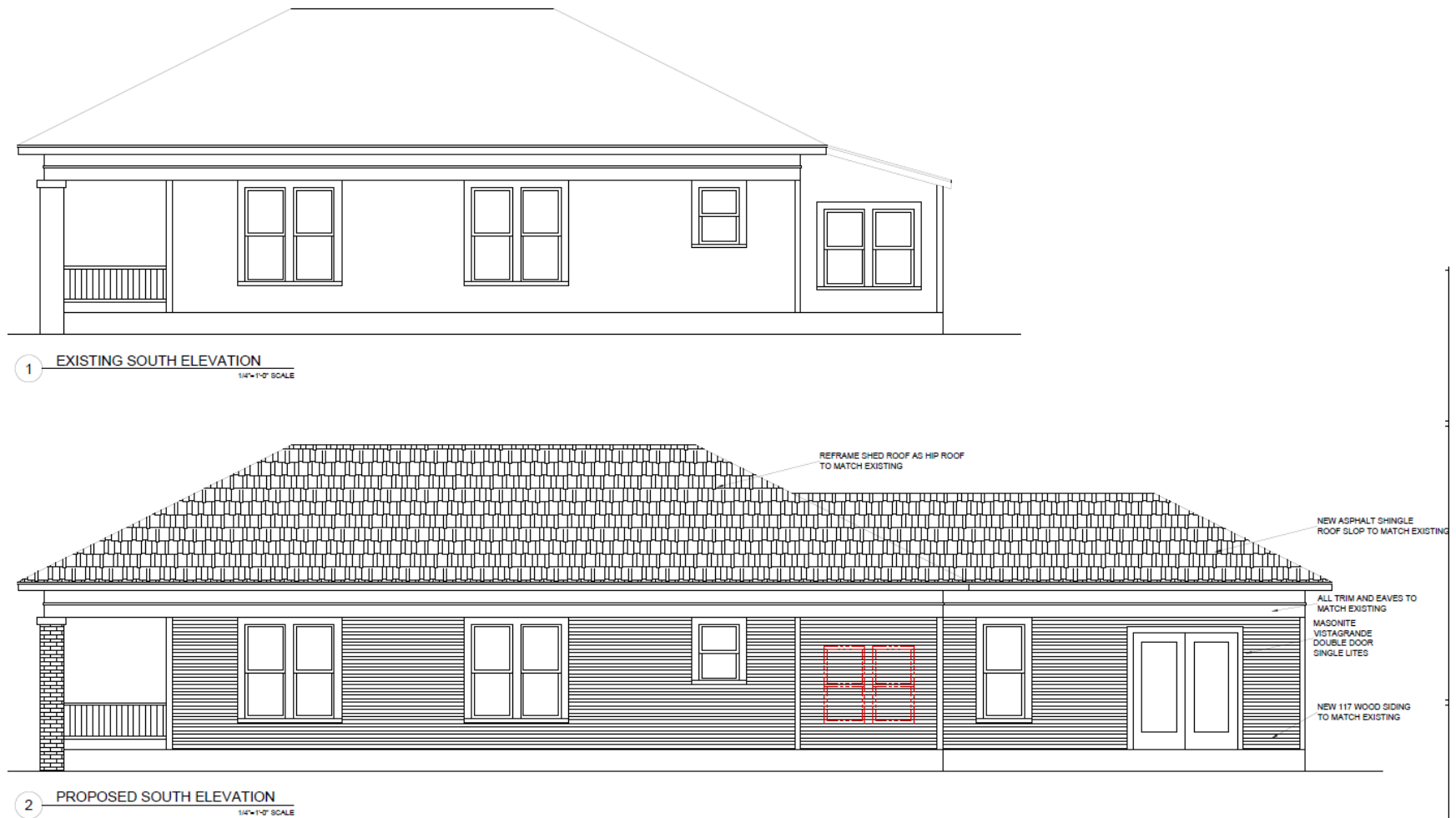
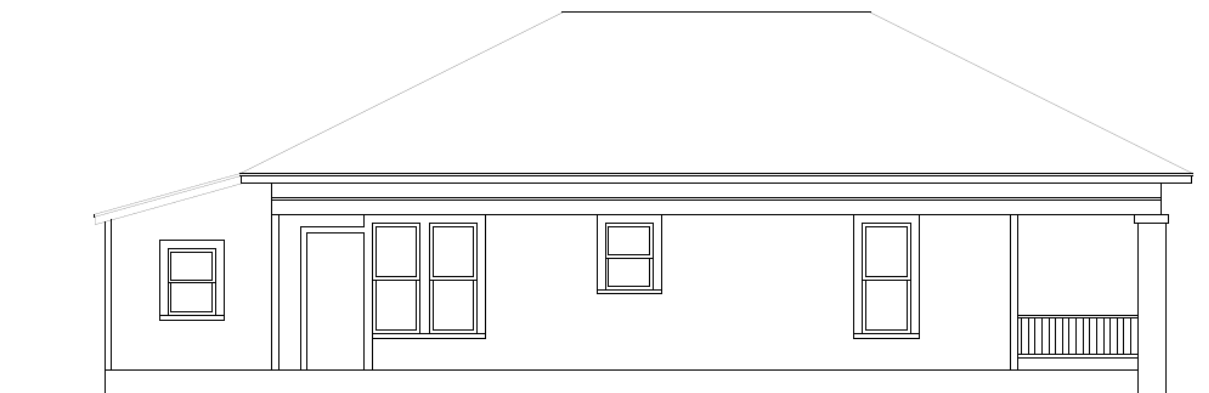


Figure 9. Existing and proposed south elevation



1 EXISTING NORTH ELEVATION  
1/4"=1'-0" SCALE



2 PROPOSED NORTH ELEVATION  
1/4"=1'-0" SCALE

Figure 10. Existing and proposed north elevation



Figure 11. Additional photos

**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

**GENERAL INFORMATION**

<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	6 <sup>th</sup> Avenue Homes/Jason Binzer
<b>LOCATION</b>	1410 S Lake Street
<b>ZONING/ USE (S)</b>	C/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount Southside

**ANALYSIS OF PROPOSED WORK****CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to construct a single-story guest house.

**APPLICABLE FAIRMOUNT DESIGN STANDARDS****SECTION 2 – STANDARDS AND GUIDELINES FOR ACCESSORY STRUCTURES**

- 4. New accessory structures shall be designed to complement the period and style of the main structure and shall meet all other design guidelines.*
- 5. New accessory structures shall be located at the rear of the property or zero lot line when appropriate.*
- 7. Garages shall not exceed two bays unless replacing an existing three bay garage.*

**SECTION 5 – STANDARDS AND GUIDELINES FOR NEW CONSTRUCTION, ADDITIONS, DEMOLITIONS AND RELOCATION**

- 1. The height and overall scale of new construction and additions shall be consistent with that of adjacent structures. In residential areas, the height and scale of new construction should generally not exceed that of adjacent structures by more than one story. In commercial areas, a greater variation in height may be appropriate with appropriate transitions. Step downs in building height, wall plane offsets and other variations in building massing should be utilized to provide transition when height of new construction exceeds adjacent structures by more than a half story.*

***FINDINGS/RECOMMENDATIONS***

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The proposed work to construct an 18'-0" x 15'-2" single-story single-car garage with exterior walls clad in wood board and batten with 1x4 cementitious trim, salvaged Carriage double-leaf door, double-hung wood windows, and a single lite person door on the north elevation. A 6 1/2:12 gable roof clad in asphalt shingles with exposed rafters comprises the overall form and character of the proposed guest house which is compatible with the historic character of the District. The proposed accessory structure is to be located at the rear of the property and in this regard, is consistent with the District Standards.

**Staff therefore recommends that the Application for a Certificate of Appropriateness to construct an 18'-0"x15'-2" single-story guest house be approved.**



SUPPLEMENTAL MATERIAL

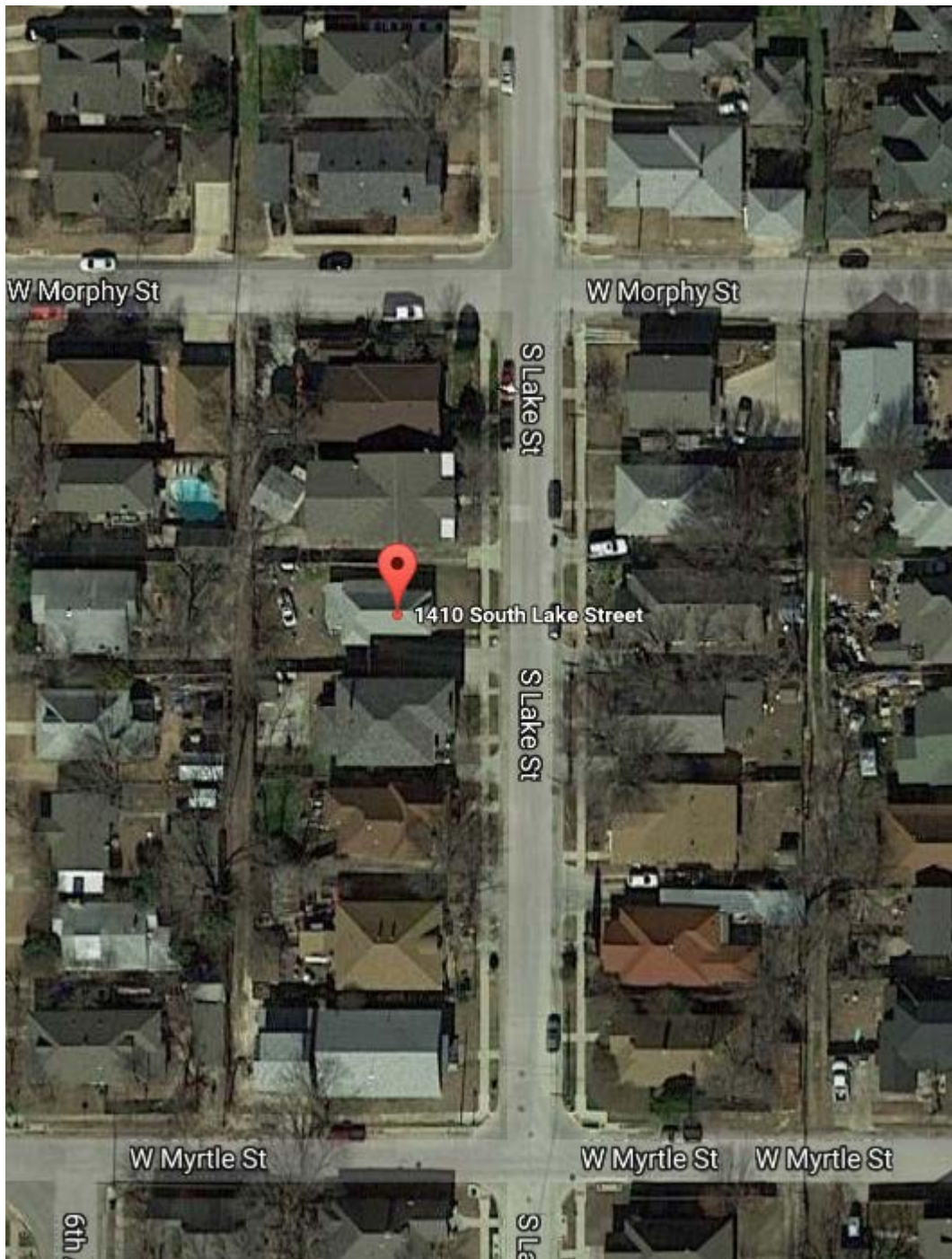
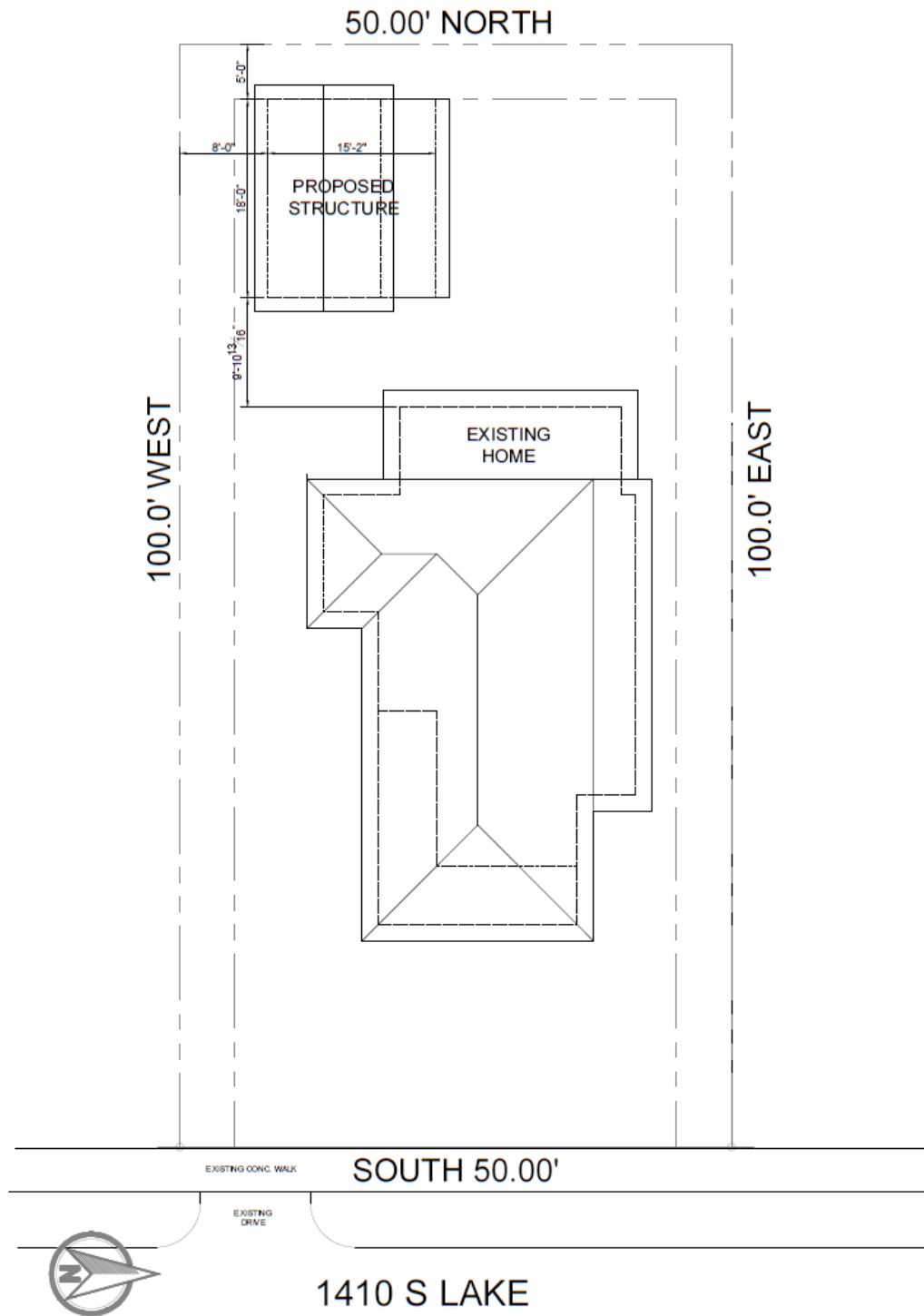


Figure 1. Aerial View



Figure 2. View of the subject property looking west from S. Lake Street



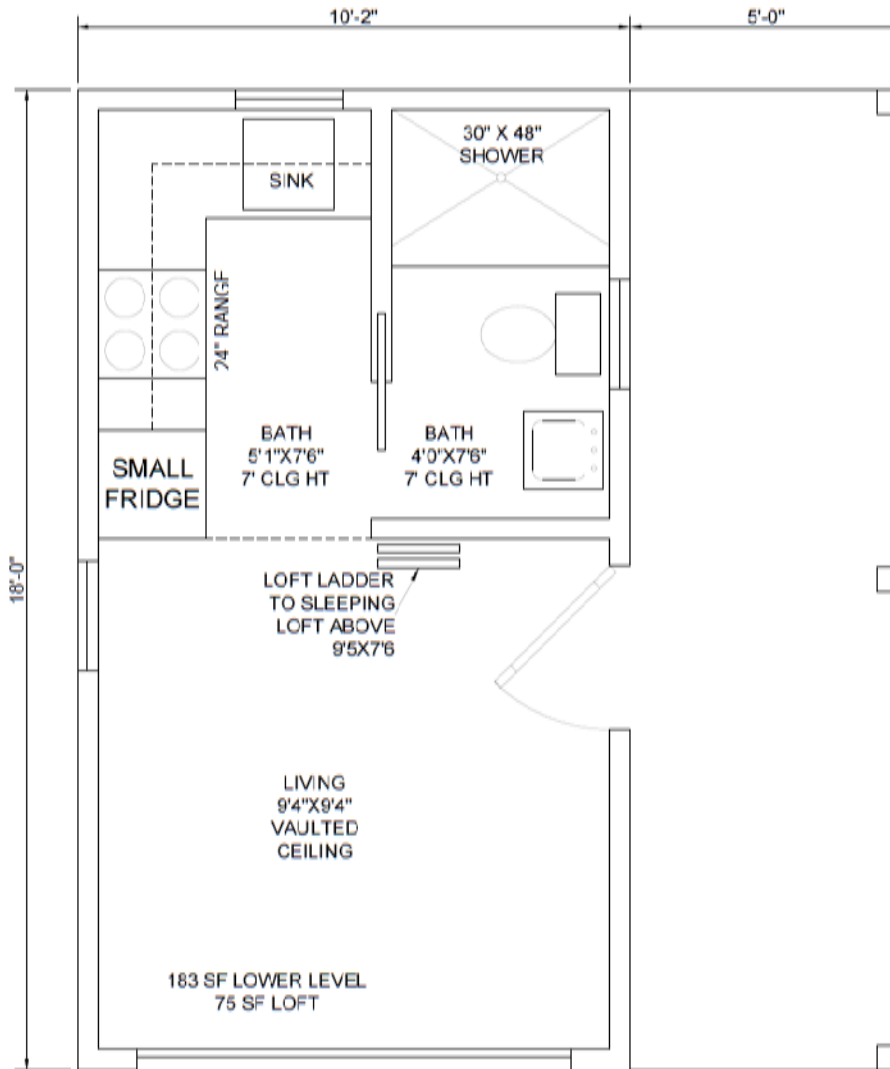


Figure 4. Guest House/Loft

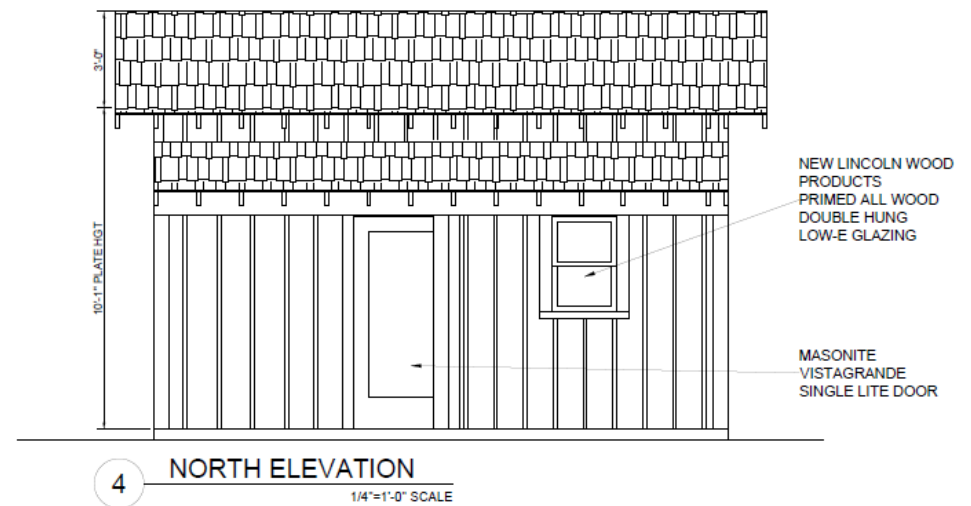
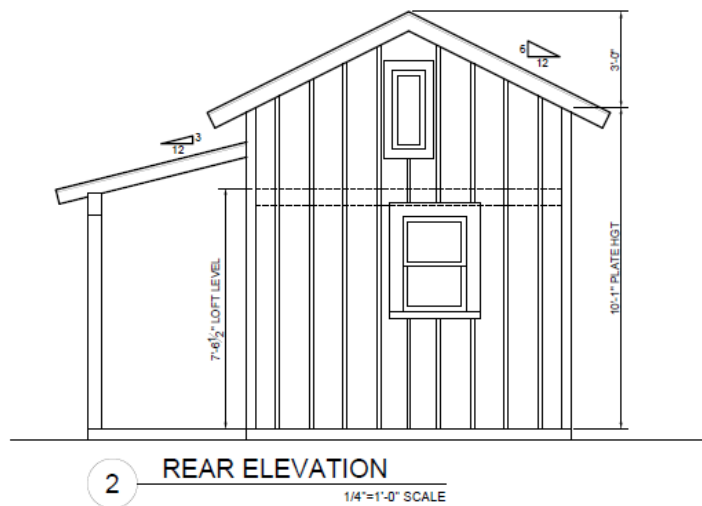
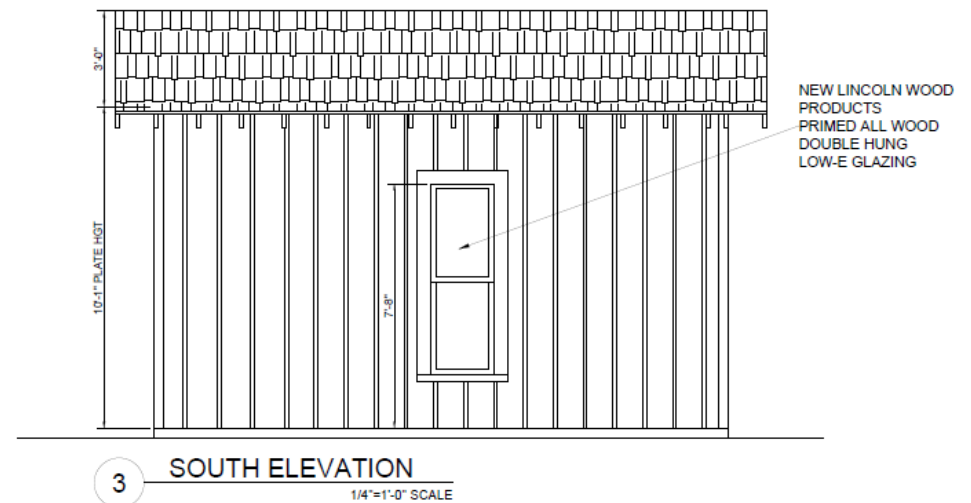
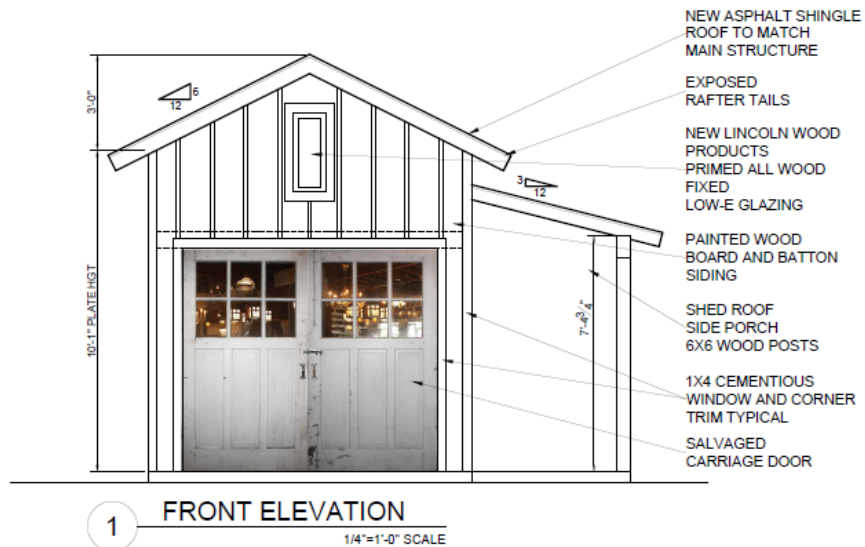


Figure 5. Guest House/Loft elevations



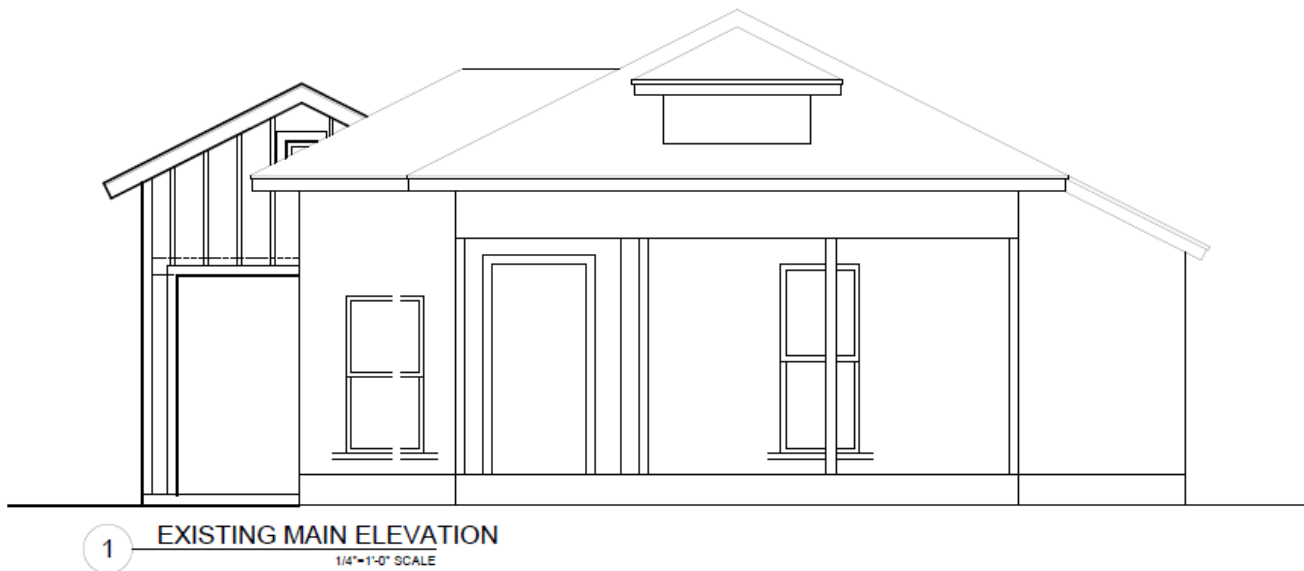


Figure 6. Existing main elevation



Figure 7. Street view of existing main elevation



**STAFF REPORT  
HISTORIC AND CULTURAL LANDMARKS COMMISSION  
CITY OF FORT WORTH, TEXAS**

DATE: July 10, 2017

COUNCIL DISTRICT: 9

***GENERAL INFORMATION***

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<b>REQUEST</b>	Certificate of Appropriateness
<b>APPLICANT/AGENT</b>	Will Goodwin/Jason Binzer
<b>LOCATION</b>	1416 S. Henderson Street
<b>ZONING/ USE (S)</b>	C/HC
<b>NEIGHBORHOOD ASSOCIATION</b>	Fairmount

***ANALYSIS OF PROPOSED WORK***

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**CERTIFICATE OF APPROPRIATENESS**

The applicant requests a Certificate of Appropriateness to demolish an accessory structure.

**APPLICABLE FAIRMOUNT DESIGN STANDARDS AND GUIDELINES****New Construction, Additions, Demolitions and Relocation**

17. Demolition of a structure shall be prohibited if a structure is of architectural or historical interest, the building contributes to the character of the historic district.

***FINDINGS/RECOMMENDATIONS***

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The main structure is a one story, Craftsman style residence, constructed c. 1921. There is no work to the main residence being requested in this application.

The structure is a one-car garage with a gable roof, clad in vertical board-and-batten wood siding. The structure is in a deteriorated state. The concrete slab foundation is completely degraded in half of the shed, with no useable surface remaining. The majority of the structure is sitting on bare ground, which accelerates degradation. The "post-and-beam style structure" is haphazardly constructed, improperly supported, and does not meet current framing codes. The structure has inadequate fasteners at all framing joints. The sill plates around the perimeter of the shed are no longer present. There is no substantial framing to re-attach siding. All board-and-batten siding is significantly degraded at the base of the structure due to wood rot. The structure has degraded unevenly, causing it to sink at the rear as the bottom of the structure continues to rot. This has caused the structure to tilt into the alley at the rear. The structure is in danger of collapsing into the alley.

Staff recommends the following motion: **Motion to approve.**

### Supplemental Information

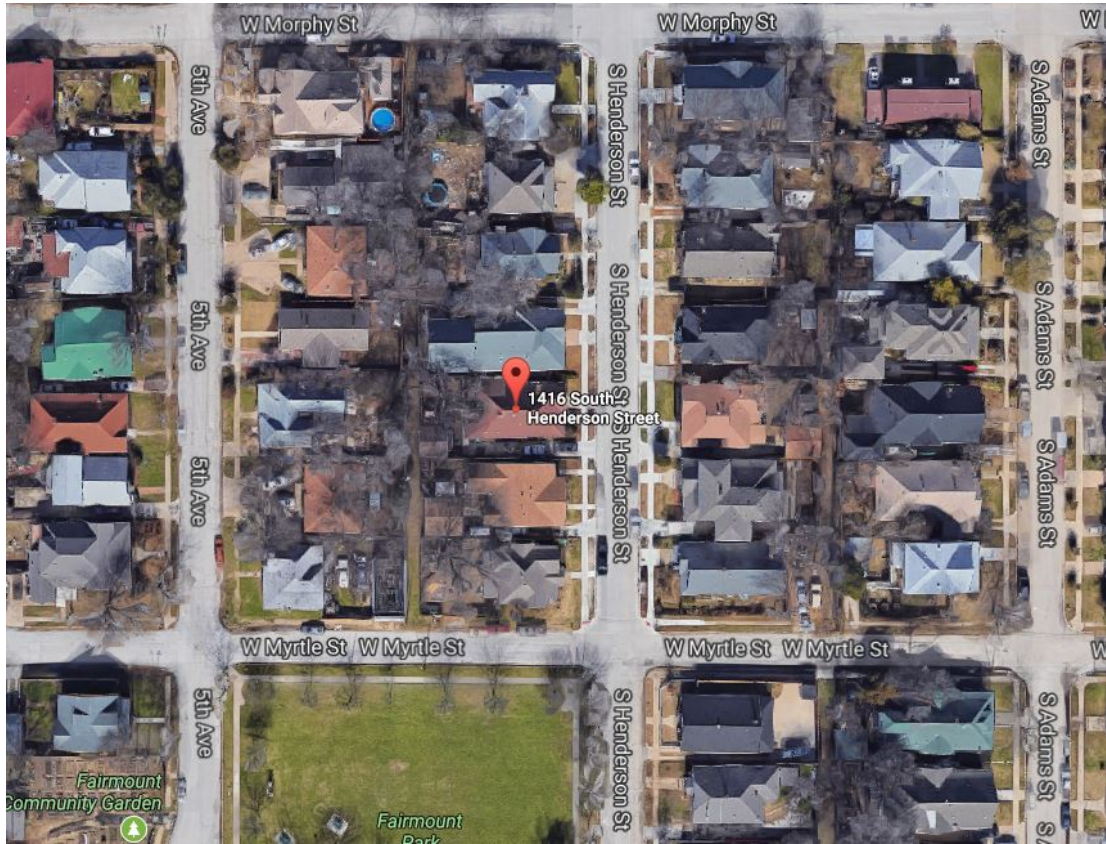


Fig. 1 - Aerial

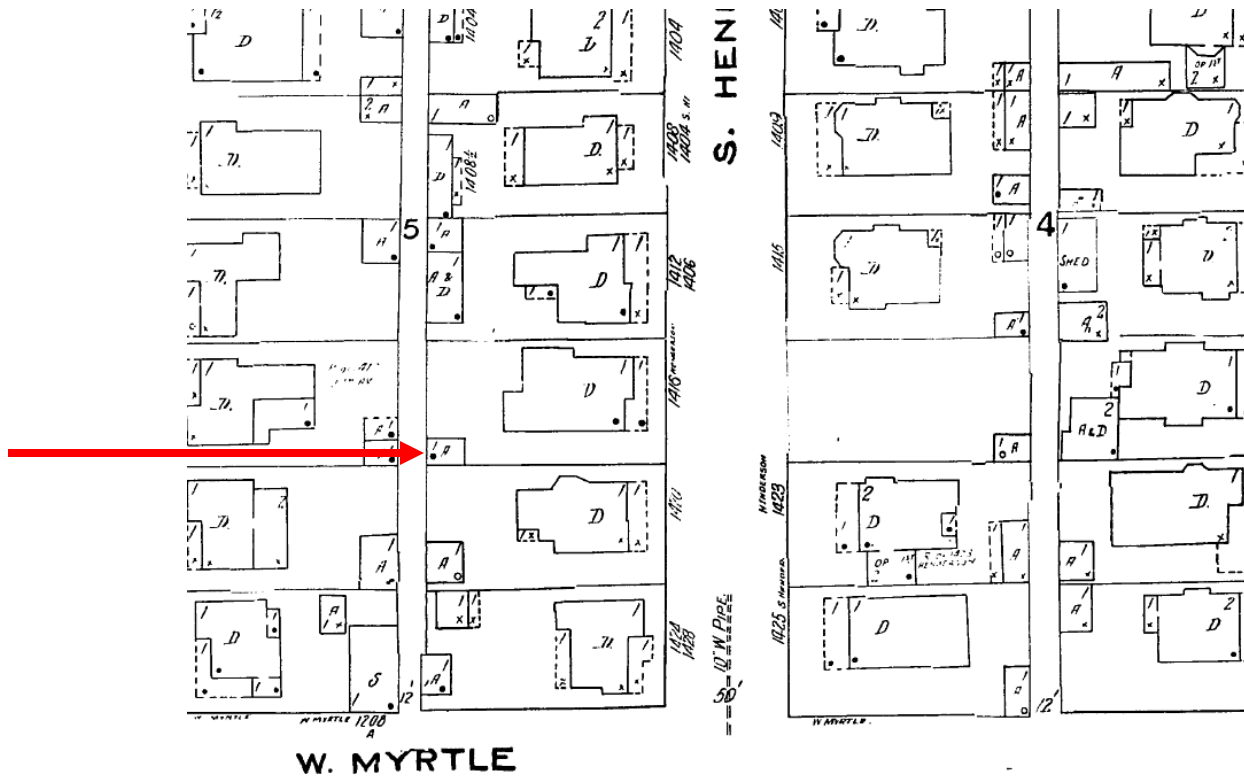


Fig. 2 - 1951 Sanborn Map



Fig. 3 – Main structure





Fig. 4 – Accessory structure as viewed from the street.



Fig. 5 – Accessory Structure





Fig. 6 – north façade



Fig. 7 – Showing rear façade leaning into alley





Fig. 8 – Showing deteriorated board-and-batten siding



Fig. 9 – Showing completely degraded concrete slab in half of garage





Fig. 10 – Openings in deteriorated siding



Fig. 11 – Deteriorated foundation; structure sitting on bare ground



Fig. 12 – Openings in deteriorated siding